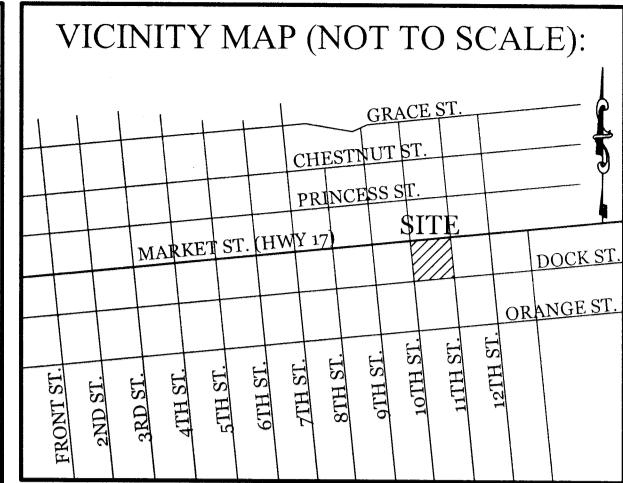


**SURVEY NOTES:**  
 1. THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.  
 2. NO SIGNIFICANT TREES EXIST ON SITE.

**DEMOLITION NOTES:**  
 EXISTING IMPERVIOUS SURFACES:  
 PAVEMENT/BLDG PADS = 34,330 SF (63%)  
 TO BE REMOVED = 34,330 SF  
 OFFSITE IMPERVIOUS SURFACES:  
 DRIVEWAY APRONS/SIDEWALK = 1,892 SF



**REVISIONS**

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
 5725 Oleander Dr., Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: (910) 859-8983  
 Email: Charlie@intracoastalengineering.com  
 License Number P-0662

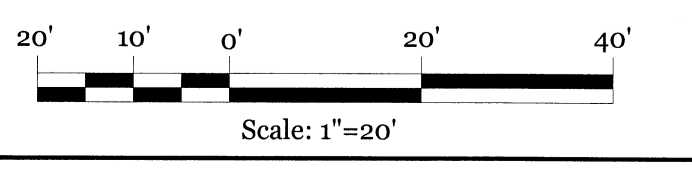
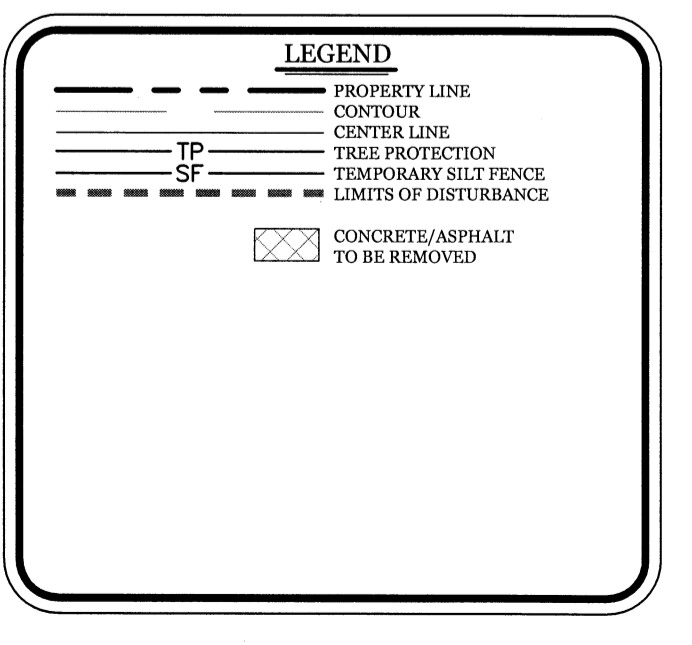
**EXISTING CONDITIONS AND DEMOLITION PLAN**  
 FOR  
**FAMILY FARE MARKET ST.**  
 WILMINGTON, NC

Charles D. Carter  
2-2-17

**CLIENT INFORMATION:**  
 M. M. FOWLER, INC.  
 LEE BARNES  
 4220 NEAL ROAD  
 DURHAM, NC 27705  
 919-309-2925 EXT. 215

DRAWN: BPD SHEET SIZE: 24 x 36  
 CHECKED: CDC DATE: 2/2/2017  
 APPROVED: CDC SCALE: 1" = 20'  
 PROJECT NUMBER: 2015-049

DRAWING NUMBER:  
**C-1**  
 1 OF 9



**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Public Utilities \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**STORMWATER MANAGEMENT PLAN APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

TEMPLE OF ISRAEL, THE  
 PO BOX 4022  
 WILMINGTON, NC 28406  
 Book: 005851 Page: 000452  
 USE: VACANT

**10th ST.**  
 (66' PUBLIC ROW)

**11th ST.**  
 (66' PUBLIC ROW)

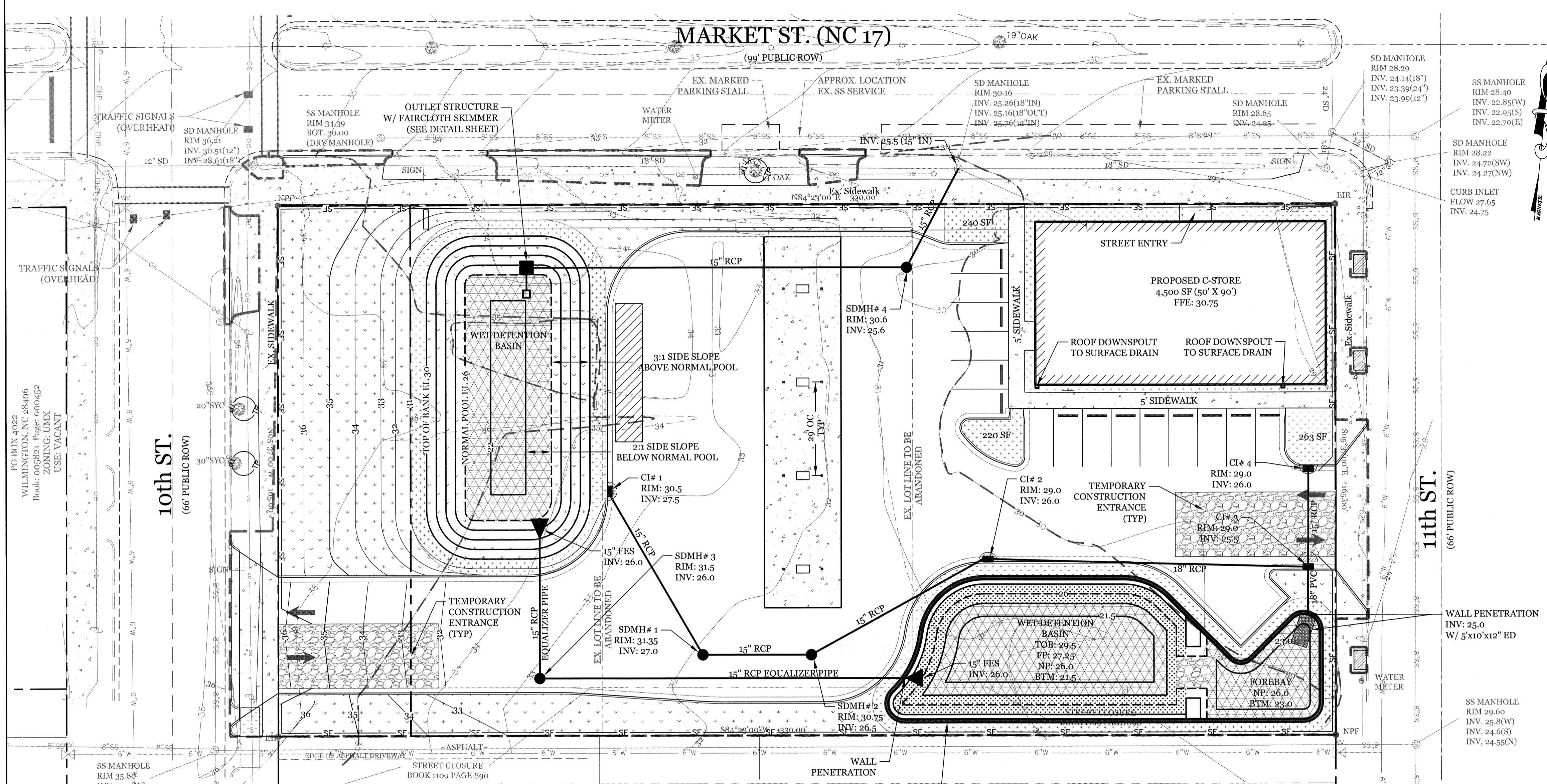
WEBB REGINALD A CINDY B  
 154 BIG BRANCH ROAD EXT  
 DELCO, NC 28436  
 Book: 005818 Page: 001187  
 ZONING: UMX  
 USE: RESIDENTIAL

WEBB GREGORY  
 13 10TH ST S  
 WILMINGTON, NC 28401  
 Book: 005818 Page: 001207  
 ZONING: UMX  
 USE: VACANT

RIPPY CADILLAC OLDS INC  
 4951 NEW CENTRE DR  
 WILMINGTON, NC 28403  
 Book: 001109 Page: 000890  
 ZONING: UMX  
 USE: COMMERCIAL

NOW OR FORMERLY  
 GREGORY WEBB  
 BOOK 5538 PAGE 2198

W K HOBBS INVESTMENTS LLC  
 6525 MARKETWOOD DR  
 WILMINGTON, NC 28409  
 Book: 005445 Page: 002745  
 ZONING: UMX  
 USE: COMMERCIAL



- CONSTRUCTION SEQUENCE:**
- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, DEMOLITION OF EXISTING IMPERVIOUS PAVEMENT AND DRAINAGE STRUCTURES IDENTIFIED TO BE REMOVED MAY BEGIN. ALL SLOPED AREAS SHOULD BE SEEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
  - GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
  - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
  - NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
  - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
  - A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
  - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

- MAINTENANCE PLAN:**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
  - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
  - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP BAFFLES, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
  - CHECK SEDIMENT BASIN AND BAFFLES WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & BAFFLES AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/2 THE DESIGN VOLUME. REPAIR / REPLACE BAFFLES IF TORN, COLLAPSED, OR INEFFECTIVE.
  - DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
  - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE INLET PROTECTION THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
  - ANY PORTION OF WET DETENTION BASINS USED FOR S&C DURING CONSTRUCTION MUST BE CLEANED OUT AND RETURNED TO DESIGN STATE.

- SURVEY NOTES:**
- THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
  - NO SIGNIFICANT TREES EXIST ON SITE.
- DEVELOPMENT NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
  - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
  - PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06

**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

**STORMWATER MANAGEMENT PLAN**

**APPROVED**

CITY OF WILMINGTON  
ENGINEERING DEPARTMENT

DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

**NORTH CAROLINA TEMPORARY GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>LATE WINTER &amp; EARLY SPRING:</b> Rye (grain) Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) Omit annual Lespedeza when duration of temporary cover is not to extend beyond June	100 (lb/acre)
<b>SUMMER:</b> German Millet In the Piedmont and Mountains, a small-stemmed sundgrass may be substituted at a rate of 50 (lb/acre)	40 (lb/acre)
<b>FALL:</b> Rye (grain)	120 (lb/acre)

**SEEDING DATES**

**LATE WINTER & EARLY SPRING:**  
Mountains - Above 2500 ft: Feb. 15-May 15  
Piedmont - Jan. 1-May 1  
Coastal Plain - Dec. 1-Apr. 15

**SUMMER:**  
Mountains - May 15-Aug. 15  
Piedmont - May 1-Aug. 15  
Coastal Plain - Apr. 15-Aug. 15

**FALL:**  
Mountains - Aug. 15-Dec. 15  
Coastal Plain and Piedmont - Aug. 15-Dec. 30

**SOIL AMENDMENTS:**  
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**MULCH:**  
apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**MAINTENANCE:**  
Refertilize if growth is not fully adequate, reseed, refertilize and mulch immediately following erosion or other damage.

**NORTH CAROLINA PERMANENT GRASSING DETAIL**

SEEDING MIXTURE SPECIES	APPLICATION RATE
<b>FALL &amp; WINTER:</b> Tall Fescue (blend of two or three improved varieties) Rye (grain)	200 (lb/acre)
<b>SPRING &amp; SUMMER:</b> Pensacola Bahiagrass Sericea Lespedeza Common Bermudagrass German Millet Tall Fescue	50 (lb/acre) 30 (lb/acre) 10 (lb/acre) 10 (lb/acre) 50 (lb/acre)

**SEEDING DATES**

**FALL & WINTER:**  
January - April  
August - December

**SOIL AMENDMENTS:**  
Apply lime and fertilizer according to soil tests, or apply 3,000-5,000 lb/acre ground agricultural limestone (use the lower rate on sandy soils) and 1,000 lb/acre 10-10-10 fertilizer.

**MAINTENANCE:**  
Fertilize according to soil tests or apply 40 lb/acre nitrogen in January or February, 40 lb in September and 40 lb in November, from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Reseed, fertilize, and mulch damaged areas immediately. mow to a height of 2.5-3.5 inches as needed.

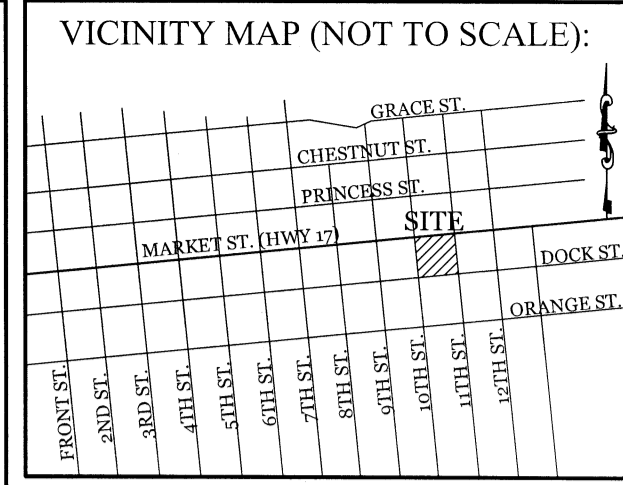
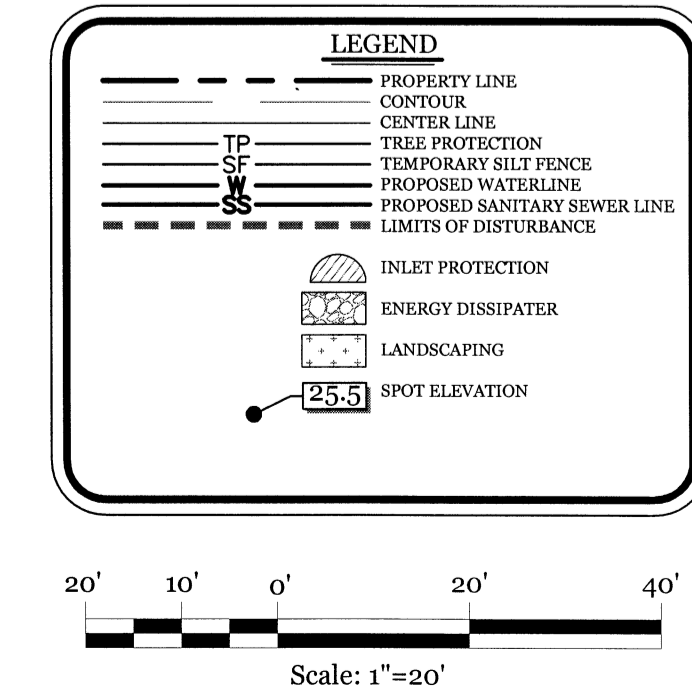
**SPRING & SUMMER:**  
April 1 - July 15

**SOIL AMENDMENTS:**  
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agriculture limestone and 500 lb/acre 10-10-10 fertilizer.

**MAINTENANCE:**  
Refertilize the following April with 50 lb/acre nitrogen. Repeat as growth requires. may be mowed only once a year. Where a neat appearance is desired, omit sericea and mow as often as needed.

**MULCH:**  
apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

SYMBOL	GROUND STABILIZATION CRITERIA		
	SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
[Symbol]	* Perimeter dikes, swales, ditches and slopes	7 Days	None
[Symbol]	* High Quality Water (HQW) Zones	7 Days	None
[Symbol]	* Slopes Steeper than 3:1	7 Days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
[Symbol]	* Slopes 3:1 or flatter	14 Days	7-days for slopes greater than 30 ft. in length
[Symbol]	* All other areas with slopes flatter than 4:1	14 Days	None (except for perimeters & HQW Zones)



**REVISIONS**

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**

5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: (910) 859-8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

**SEDIMENTATION & EROSION CONTROL PLAN**

FOR  
**FAMILY FARE MARKET ST.**  
WILMINGTON, NC

**PROFESSIONAL SEAL**

NORTH CAROLINA  
SEAL  
032555  
ENGINEER  
CHARLES D. CRUZER

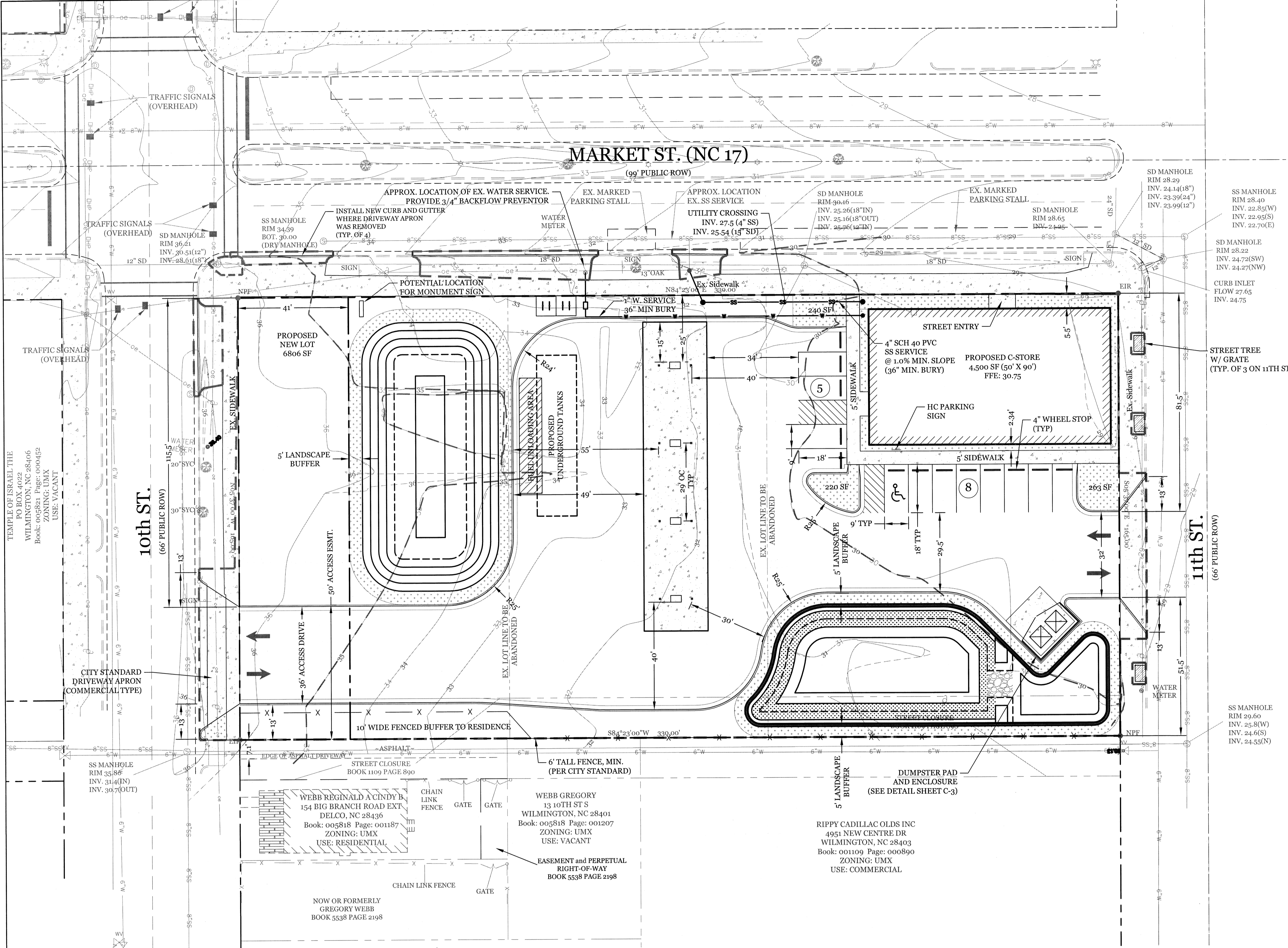
*Charles D. Cruz*  
2-2-17

**CLIENT INFORMATION:**

M. M. FOWLER, INC.  
LEE BARNES  
4220 NEAL ROAD  
DURHAM, NC 27705  
919-309-2925 EXT. 215

DRAWN: BPD SHEET SIZE: 24 x 36  
CHECKED: CDC DATE: 2/2/2017  
APPROVED: CDC SCALE: 1" = 20'  
PROJECT NUMBER: 2015-049

DRAWING NUMBER:  
**C-2** 2 OF 9



**SITE DATA:**  
 PROPERTY CURRENTLY OWNED BY:  
 R & R COMPANY WILMINGTON LLC  
 4951 NEW CENTRE DR  
 WILMINGTON, NC 28403  
 &  
 RIPPY CADILLAC OLDS INC  
 4951 NEW CENTRE DR  
 WILMINGTON, NC 28401

PROPERTY ADDRESS:  
 6 S 11th ST  
 WILMINGTON, NC

NEW HANOVER COUNTY PINS:  
 R04818-030-004-000,  
 R04818-030-003-000,  
 R04818-030-001-000

TOTAL TRACT AREA: ±1.25 AC. (54,450 SF)  
 DISTURBED AREA: ±1.29 AC. (56,342 SF)

CURRENT ZONING: CITY OF WILMINGTON  
 UMX (URBAN MIXED USE)

CAMA CLASSIFICATION:  
 URBAN

SETBACKS:  
 FRONT REQ'D= 0' PROP= 4'  
 REAR REQ'D= 0' PROP= 111'  
 SIDE REQ'D= 0' PROP= 4'L/195'R

PROPOSED LAND USE:  
 CONVENIENT STORE

GROSS FLOOR AREA:  
 4,500 SF (8.3% LOT COVERAGE)

BUILDING HEIGHT: ±20'  
 BUILDING CONSTRUCTION: TYPE V-B, UNSPRINKLED

EXISTING IMPERVIOUS SURFACES:  
 PAVEMENT/BLDG PADS = 34,330 SF (63%)  
 TO REMAIN= 0 SF

PROPOSED ONSITE IMPERVIOUS SURFACES:  
 BUILDINGS= 4,500 SF  
 PAVEMENT= 25,814 SF  
 (ASPHALT/CONCRETE)  
 SIDEWALKS= 947 SF  
 FUTURE (OUTPARCEL)= 4,504 SF  
 TOTAL IMPERVIOUS= 35,765 SF (65.7%)

PROPOSED OFFSITE IMPERVIOUS SURFACES:  
 DRIVEWAY APRONS/SIDEWALK= 1,500 SF

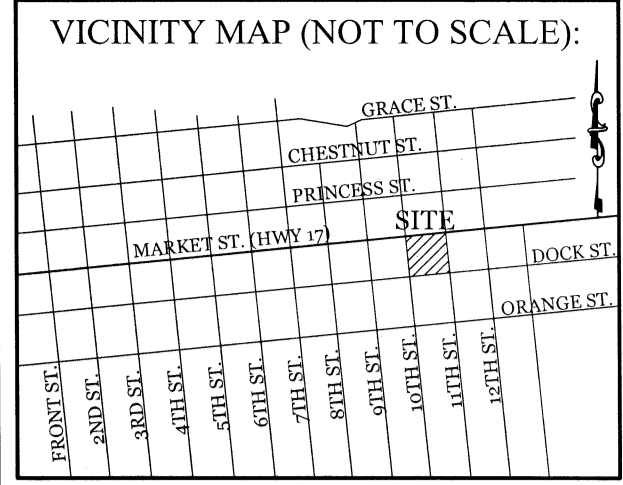
TOTAL PARKING PROVIDED: 14 SPACES (1 HC)

BICYCLE PARKING REQUIRED:  
 (5 spaces or 1 per 1,000 sf GFA)  
 REQUIRED: 5 SPACES  
 PROVIDED: 8 SPACES

STREETYARD:  
 REQUIRED: 0 SF  
 PROVIDED: 0 SF

FOUNDATION PLANTINGS:  
 REQUIRED: 336 SF (2,800 SF X 12%)  
 PROVIDED: 450 SF

WATER AND SEWER DEMAND:  
 (250 GPD PER PLUMBING FIXTURE)  
 SEWER: @ 250 GPD X 4= 1,000 GPD  
 WATER: @ 250 GPD X 4= 1,000 GPD



REVISIONS

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
 5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: (910) 859-8983  
 Email: Charlie@intracoastalengineering.com  
 License Number: P-0662

**SITE AND UTILITIES PLAN**  
 FOR  
**FAMILY FARE MARKET ST.**  
 WILMINGTON, NC

**STORMWATER MANAGEMENT PLAN APPROVED**  
 CITY OF WILMINGTON  
 ENGINEERING DEPARTMENT  
 DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
 SIGNED \_\_\_\_\_

CLIENT INFORMATION:  
 M. M. FOWLER, INC.  
 LEE BARNES  
 4220 NEAL ROAD  
 DURHAM, NC 27705  
 919-309-2925 EXT. 215

DRAWN:	BPD	SHEET SIZE:	24 x 36
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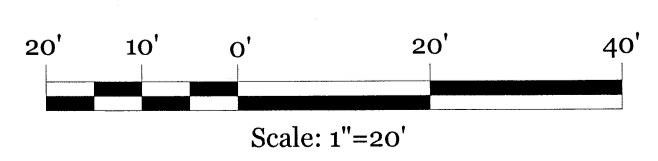
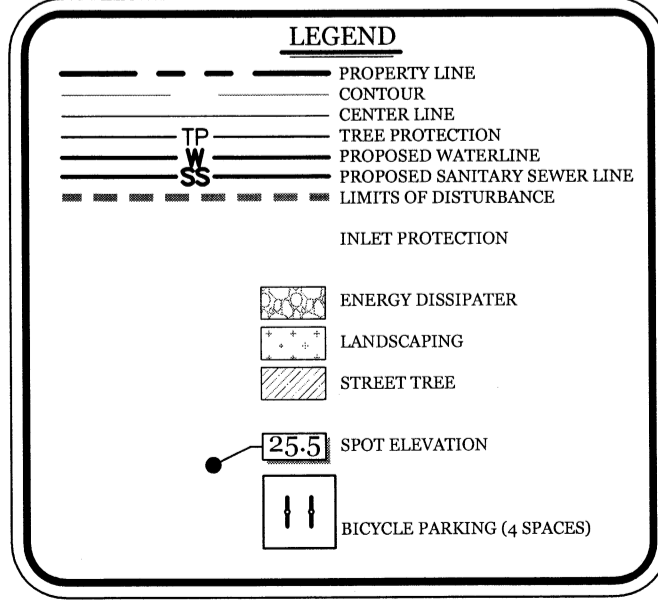
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**C-3**  
 3 OF 9

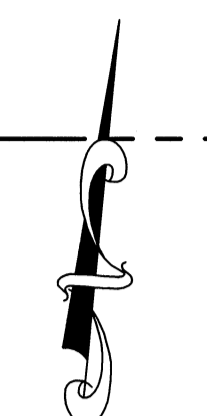
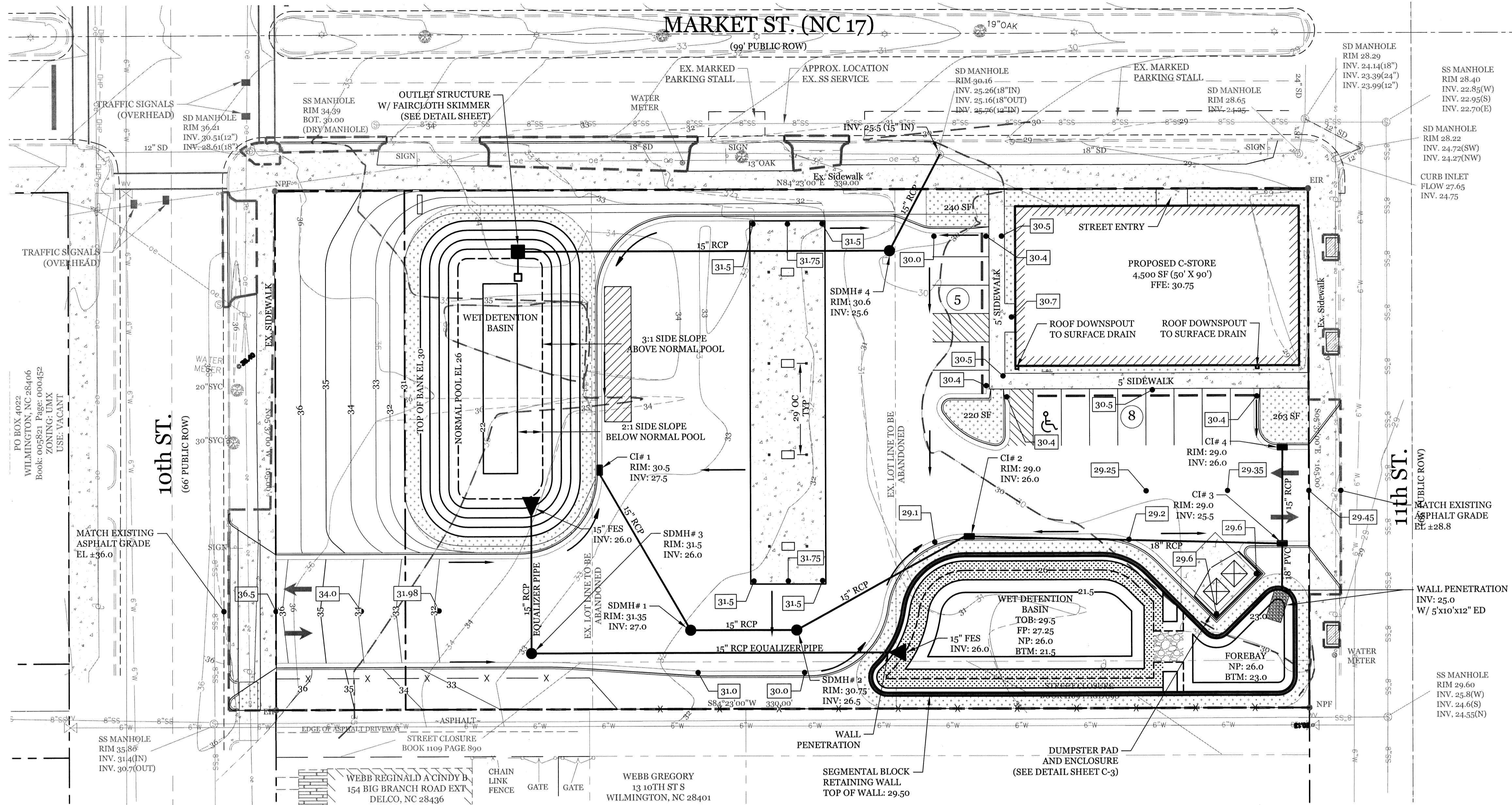
**SURVEY NOTES:**  
 1. THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.  
 2. NO SIGNIFICANT TREES EXIST ON SITE.

**DEVELOPMENT NOTES:**  
 1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.  
 2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.  
 3. PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720314700J COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06  
 4. ALL SIGHT LIGHTING SHALL BE LOCATED, ANGLED, SHIELDED, AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES, SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POSTS SHALL BE NO TALLER THAN TWELVE (12) FEET.

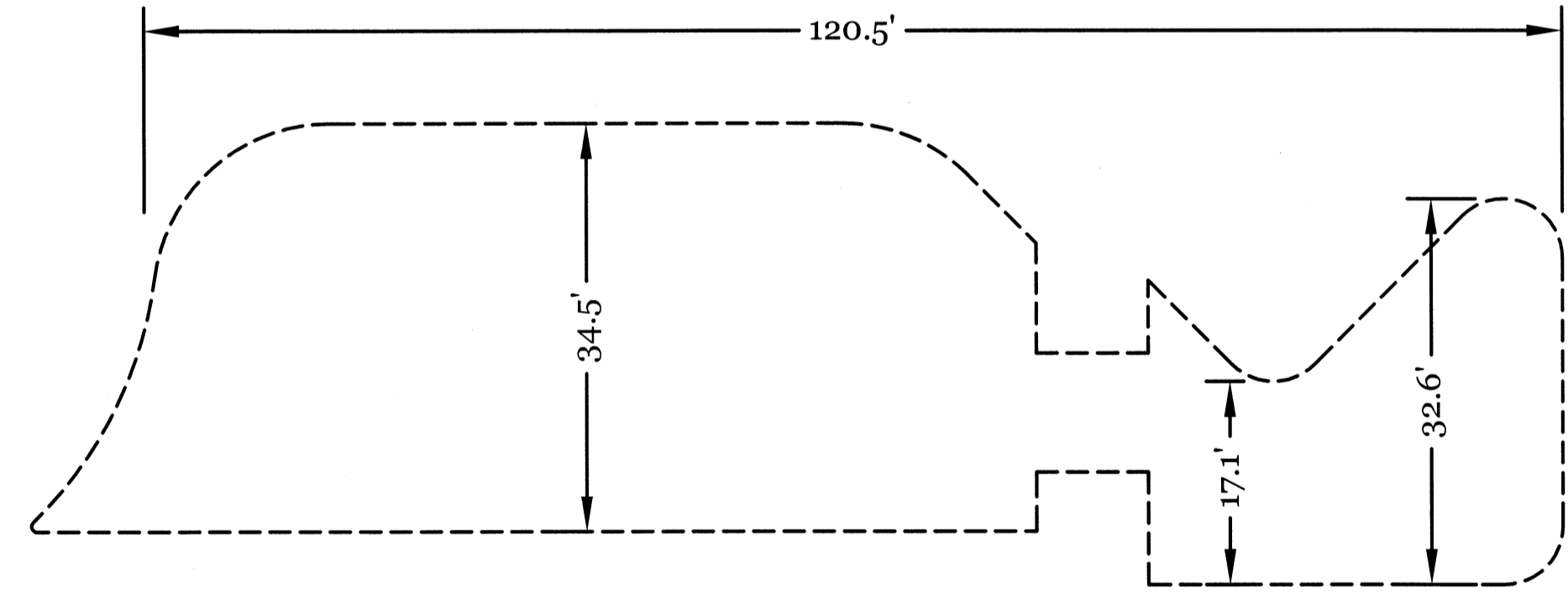
**UTILITY NOTES:**  
 1. WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM GAFI PUBLIC UTILITY AUTHORITY PUBLIC MAINS.  
 2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.  
 3. SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.  
 4. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CPWA TECHNICAL SPECIFICATIONS & STANDARDS.  
 5. PROJECT SHALL COMPLY WITH CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL". CALL 343-3910 FOR INFORMATION.  
 6. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCFCHH OR ASSE.  
 7. IF CONTRACTOR DESIRES CPWA FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.  
 8. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.  
 9. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.

**GENERAL TRAFFIC NOTES:**  
 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD -13 COFW TECH STDS]  
 2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 COFW TECH STDS]  
 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.  
 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.  
 5. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 344-4888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.  
 6. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.  
 7. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15-14 COFW TECH STDS]  
 8. CONTACT TRAFFIC ENGINEERING AT 344-4888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.  
 9. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.





W K HOBBS INVESTMENTS LLC  
6927 MARYWOOD LANE  
WILMINGTON, NC 28409  
Book: 005495 Page: 002725  
ZONING: UMC COMMERCIAL  
USE: COMMERCIAL



NORMAL POOL DIMENSIONS

**CONSTRUCTION SEQUENCE:**

- CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, DEMOLITION OF EXISTING IMPERVIOUS PAVEMENT AND DRAINAGE STRUCTURES IDENTIFIED TO BE REMOVED MAY BEGIN. ALL SLOPED AREAS SHOULD BE SEEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
- GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
- NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
- NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
- INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
- A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
- MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
- MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

**MAINTENANCE PLAN:**

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP Baffles, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- CHECK SEDIMENT BASIN AND Baffles WEEKLY & AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT FROM TRAP & Baffles AND RESTORE TO ORIGINAL VOLUME WHEN SEDIMENT ACCUMULATES TO ABOUT 1/2 THE DESIGN VOLUME. REPAIR / REPLACE Baffles IF TORN, COLLAPSED, OR INEFFECTIVE.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

**SURVEY NOTES:**

- THE SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY COMPLETED IN JUNE 2016 BY MICHAEL UNDERWOOD AND ASSOCIATES, PA.
- NO SIGNIFICANT TREES EXIST ON SITE.

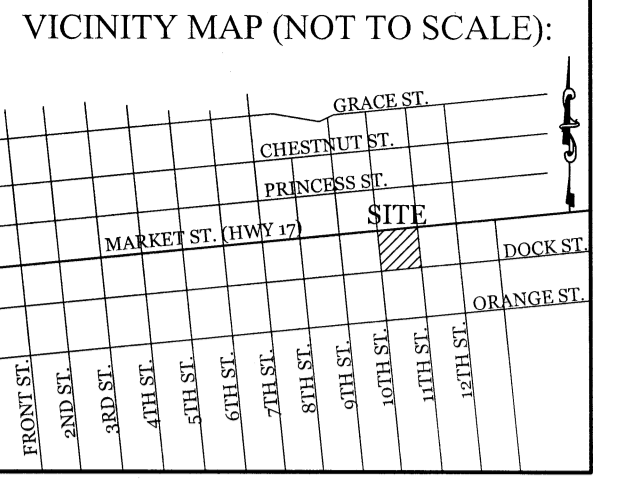
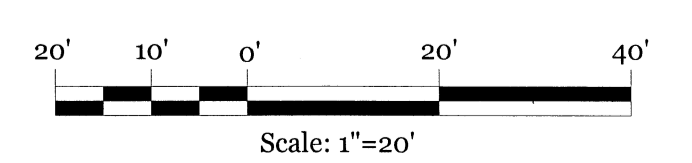
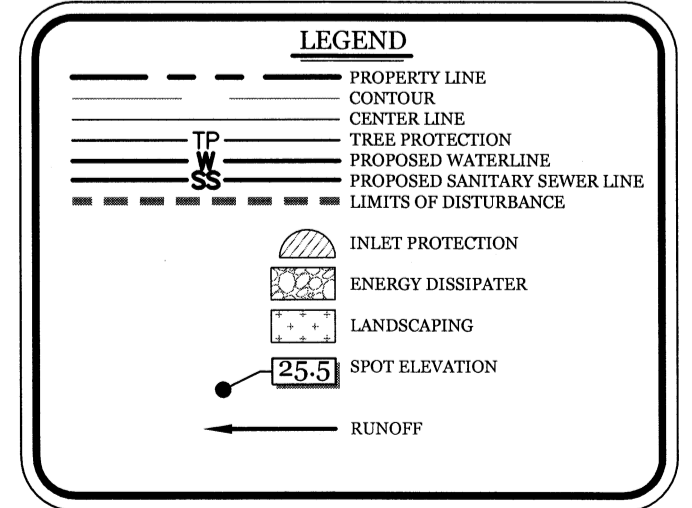
**DEVELOPMENT NOTES:**

- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH CITY OF WILMINGTON ZONING ORDINANCE.
- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- PROPERTY IS LOCATED IN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J COMMUNITY-PANEL NUMBER 3127, DATED 04/03/06

**Approved Construction Plan**

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_



**REVISIONS**

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: (910) 859-8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

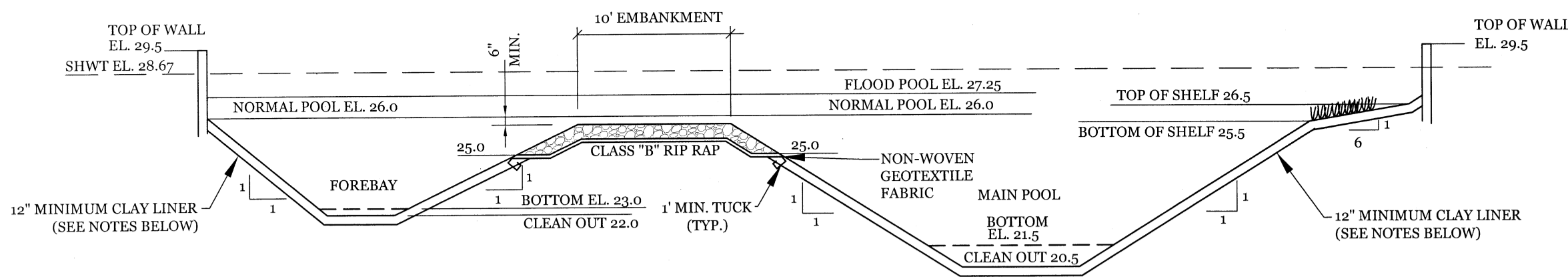
GRADING, DRAINAGE, AND STORMWATER MANAGEMENT PLAN  
FOR  
**FAMILY FARE MARKET ST.**  
WILMINGTON, NC

*Charles D. Cazier*  
2-2-17

**CLIENT INFORMATION:**  
M. M. FOWLER, INC.  
LEE BARNES  
4220 NEAL ROAD  
DURHAM, NC 27705  
919-309-2925 EXT. 215

DRAWN: BPD	SHEET SIZE: 24 x 36
CHECKED: CDC	DATE: 2/2/2017
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2015-049	

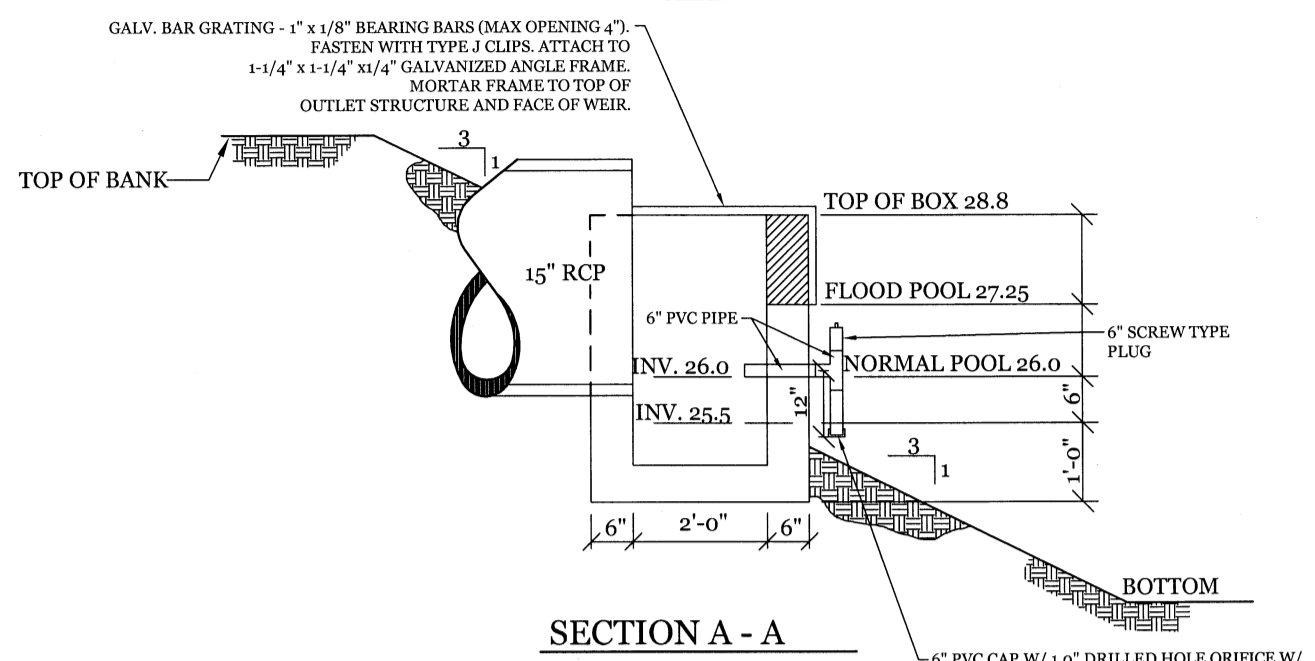
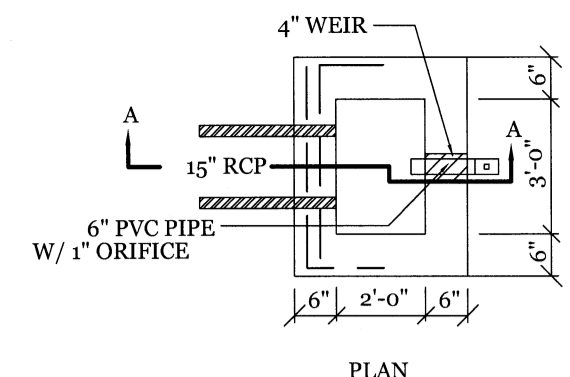
DRAWING NUMBER:  
**C-4** 4 OF 9



- PROVIDE A NATURAL POND LINER HAVING A MINIMUM THICKNESS OF ONE FOOT AND A HYDRAULIC CONDUCTIVITY NO GREATER THAN 1 X 10 CM/S WHEN COMPACTED. A SYNTHETIC LINER MAY BE SUBSTITUTED IF NO NATURAL MATERIALS ARE READILY AVAILABLE. A SYNTHETIC LINER SHALL BE OF A SUFFICIENT THICKNESS TO EXHIBIT STRUCTURAL INTEGRITY AND AN EFFECTIVE HYDRAULIC CONDUCTIVITY NO GREATER THAN THAT OF THE NATURAL MATERIAL LINER. (REF: 15A NCAC 02.0505)
- CONTRACTOR SHALL PROVIDE SOIL TESTING DATA THAT CONFIRMS HYDRAULIC CONDUCTIVITY REQUIREMENTS HAVE BEEN ADHERED TO.
- CONTRACTOR SHOULD NOTE THAT OVER EXCAVATION OF BASIN IS REQUIRED TO INSTALL THE SPECIFIED LINER. OVER EXCAVATION WILL BE A MINIMUM OF 2'.
- ADDITIONAL EXCAVATION AND ANY INCREASE IN LINER THICKNESS MAY BE REQUIRED AS SPECIFIED BY AFOREMENTIONED GEOTECHNICAL TESTING AGENCY.
- IF A SYNTHETIC LINER IS TO BE USED, AN AKWASEL GEOSYNTHETIC CLAY LINER (GCL) IS PREFERRED. IN ORDER TO INSTALL AN ALTERNATIVE SYNTHETIC LINER, CONTRACTOR MUST SUBMIT A PACKAGE FOR REVIEW BY INTRACOASTAL ENGINEERING AND NC DENR PRIOR TO CONSTRUCTION.
- IN REFERENCE TO SYNTHETIC OR GEOSYNTHETIC CLAY LINER (GCL), THE CONSULTANT MUST OBSERVE THE INSTALLATION OF THE LINER AND CERTIFY THAT IT HAS BEEN PROPERLY INSTALLED.
- THE CLAY LINER MAY NOT BE REQUIRED DEPENDING ON WATER TABLE CONDITIONS FOUND AT TIME OF EXCAVATION. CONTRACTOR WILL NEED TO CONSULT WITH A CERTIFIED SOIL SCIENTIST FOR APPROVAL TO ELIMINATE THE NEED FOR A CLAY LINER.
- POND SLOPE TO BE SEEDED IN ACCORDANCE TO SEEDING SPECIFICATIONS.
- 6:1 VEGETATED SHELVE TO BE PLANTED WITH WETLAND SPECIES I.E. PICKEREL WEEED, DUCK POTATO, SWAMP ROSE, BLUE FLAG, & CARDINAL FLOWER. (OR ENGINEER APPROVED ALTERNATIVE)
- VEGETATED SHELVE SHALL BE PLANTED WITH PLUGS OR POTS AT 24" O.C. IN A CHECKERBOARD PATTERN.
- VEGETATED SHELVE PLANTING SHALL NOT BE PLANTED WITHIN 10' OF THE OUTLET STRUCTURES.
- A PUMP WILL BE PROVIDED TO DRAIN THE BASIN FOR MAINTENANCE AND EMERGENCIES

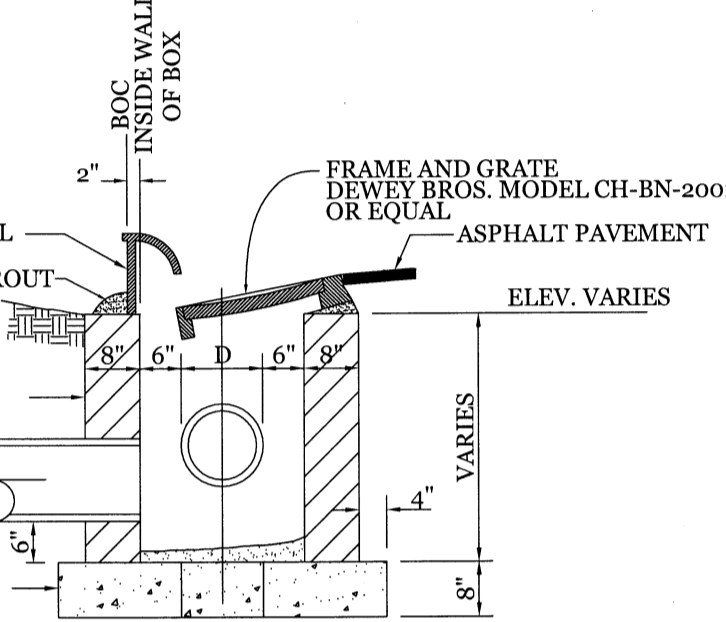
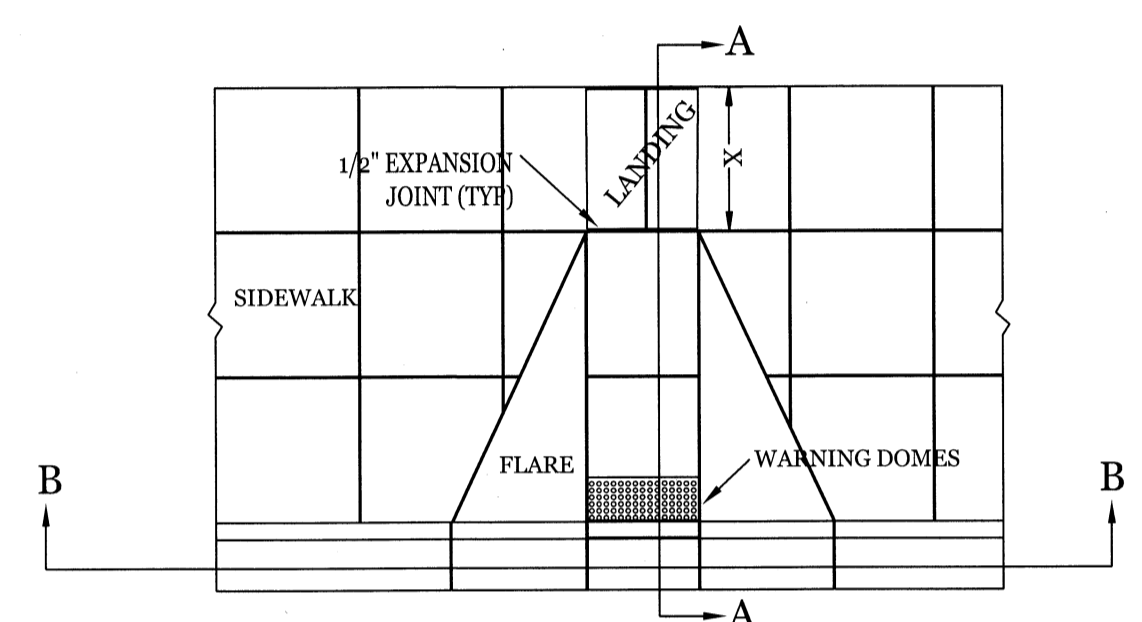
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NTS



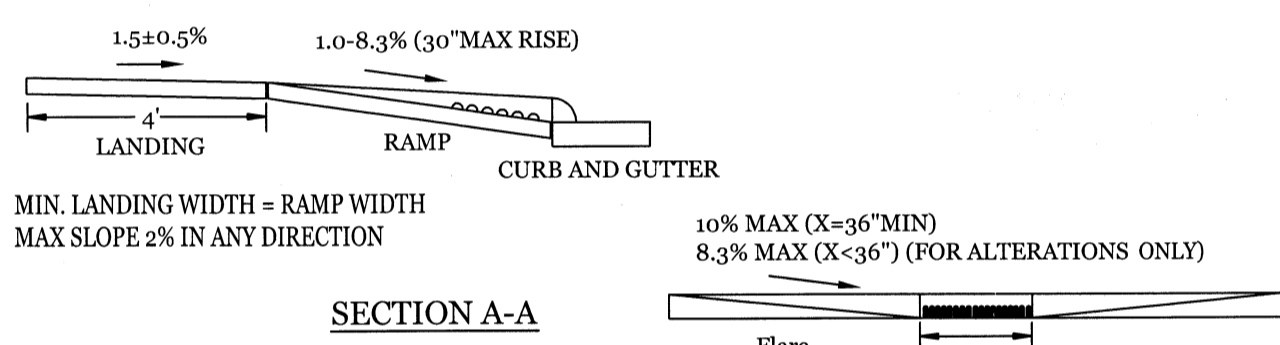
**DETENTION POND OUTLET STRUCTURE**

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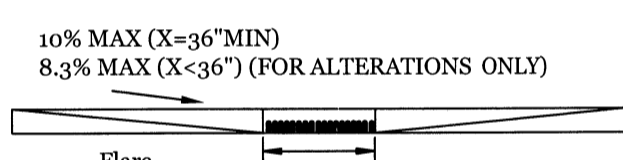


**CURB INLET DETAIL**

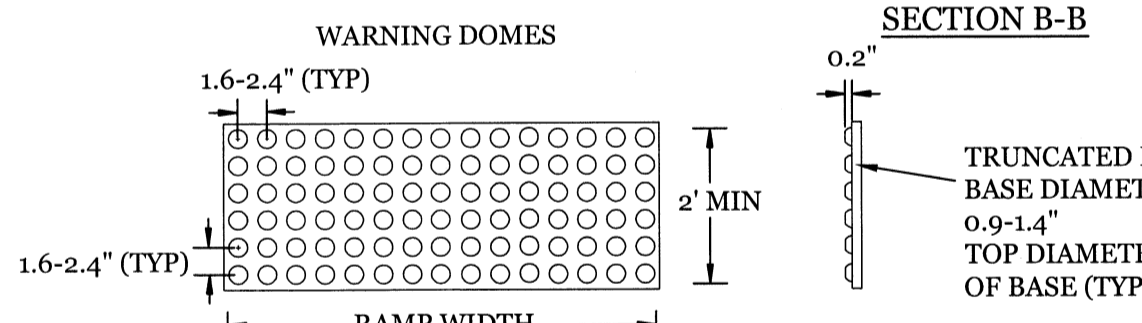
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**SECTION A-A**



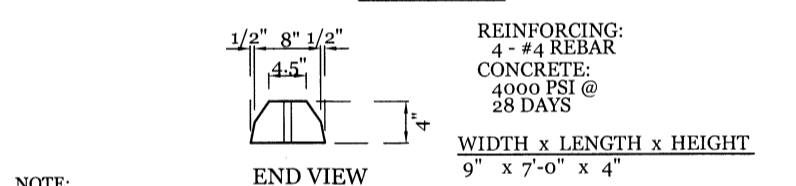
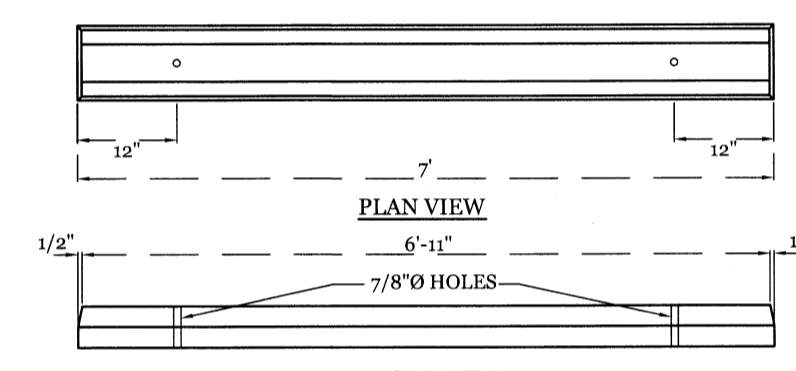
**SECTION B-B**



- WARNING DOME NOTES: 1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
- 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
- 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
- 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

**WHEEL CHAIR RAMP DETAIL**

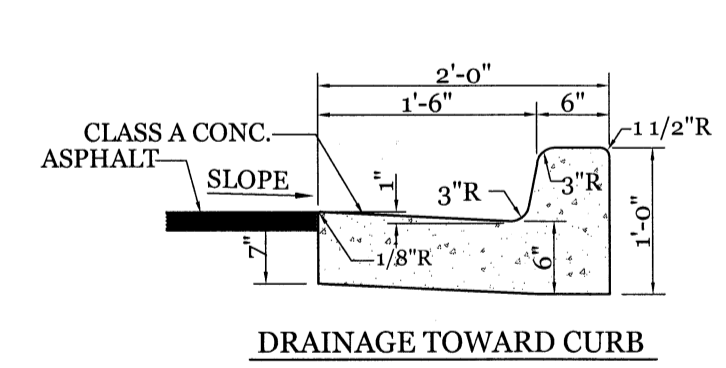
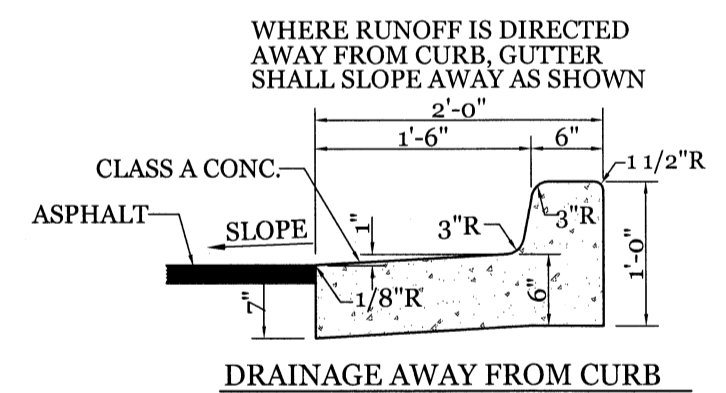
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**WHEEL STOP DETAIL**

NTS

- NOTE: 1. CONTRACTOR SHALL INSTALL PER CITY OF WILMINGTON TECHNICAL STANDARD PER SD 15-13
- 2. CONTRACTOR SHALL INSTALL WHEEL STOP 2' FROM SIDEWALK

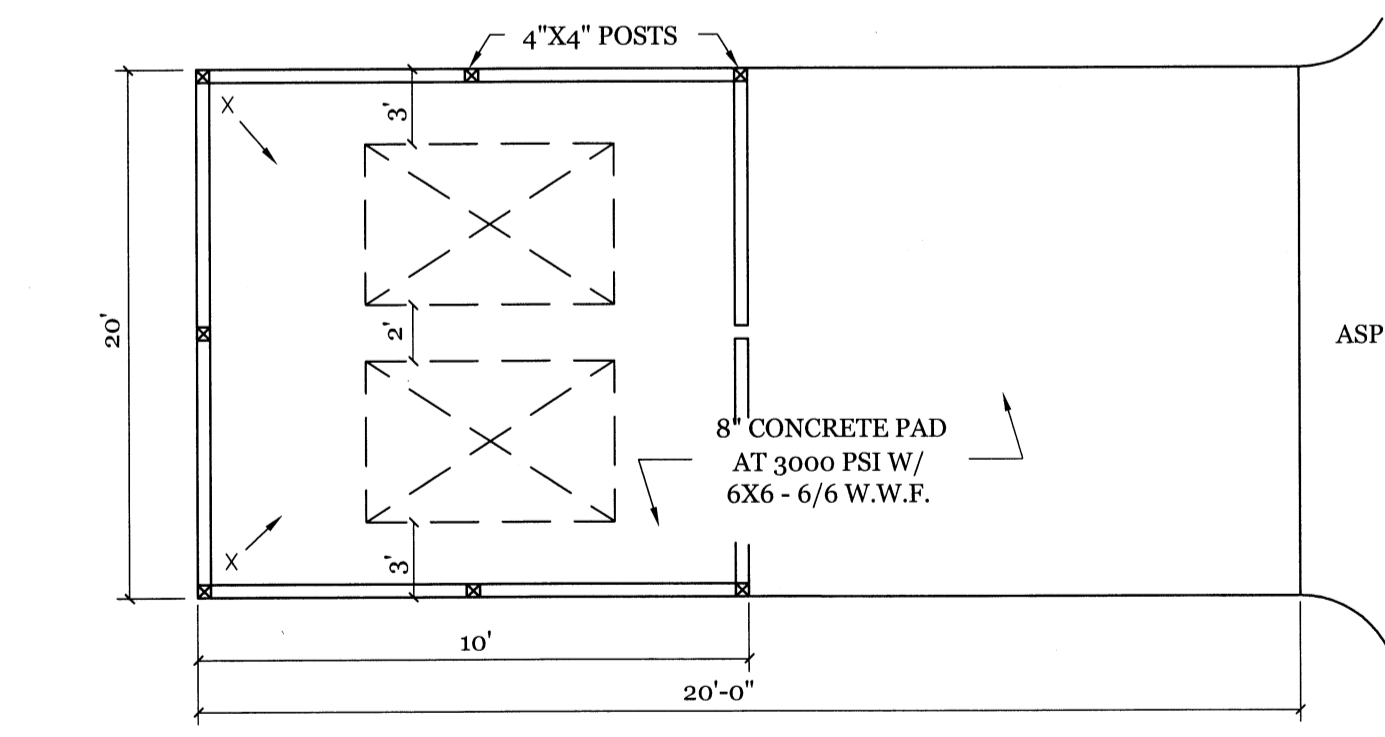


**24" CURB SECTION**

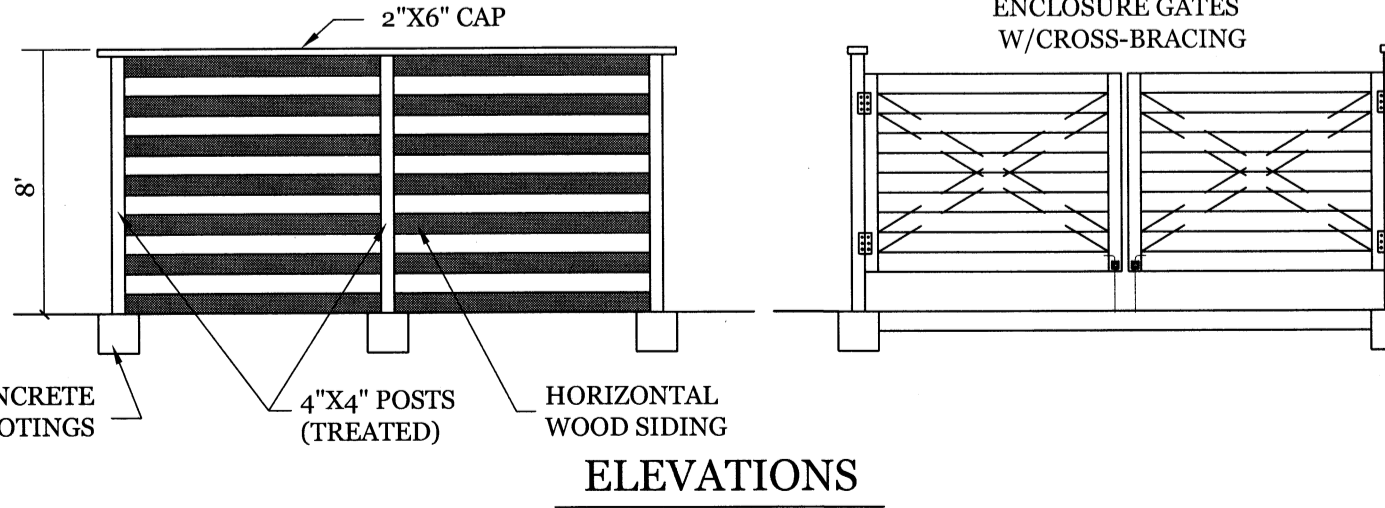
NTS

STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Public Utilities \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_



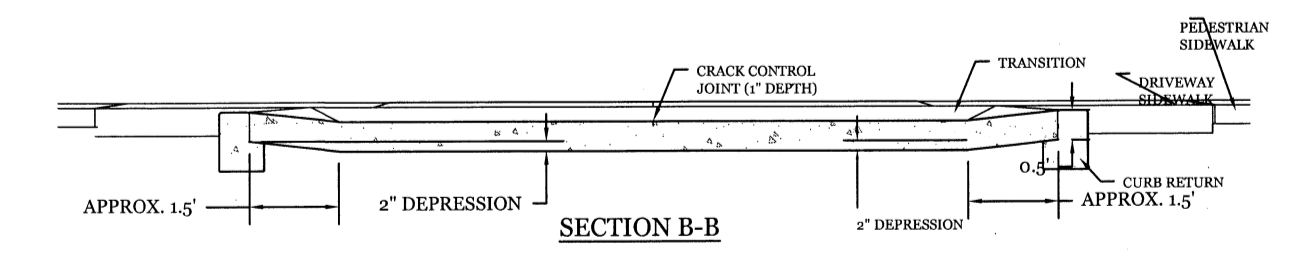
**PLAN**



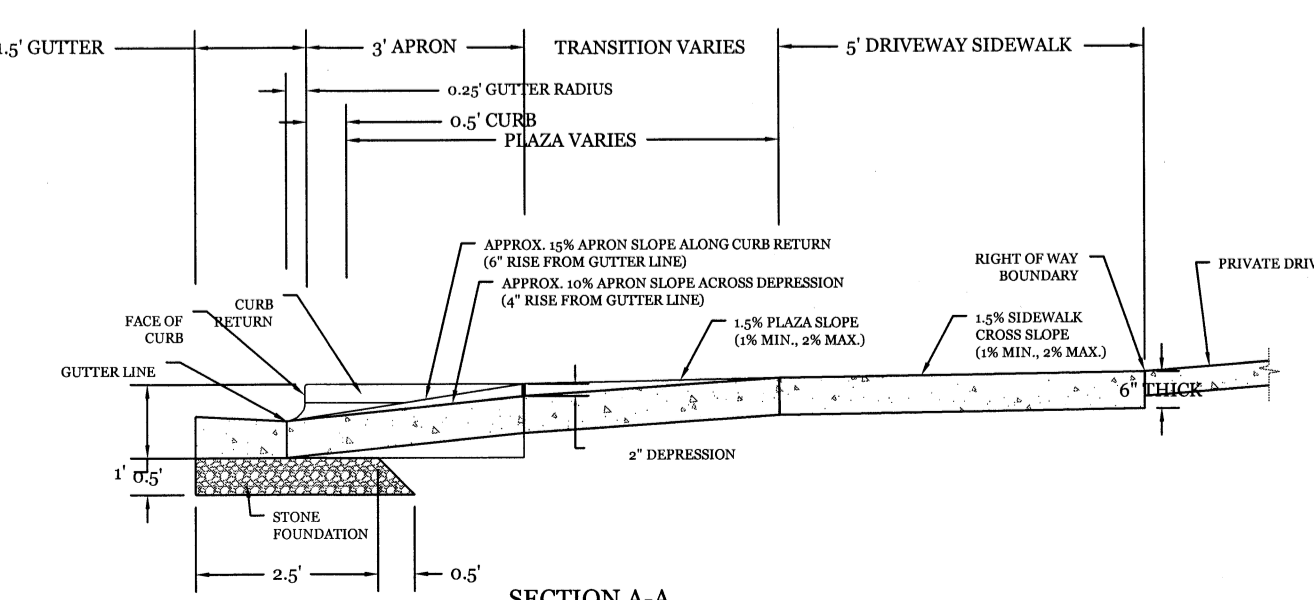
**ELEVATIONS**

**DUMPSTER PAD & ENCLOSURE DETAIL**

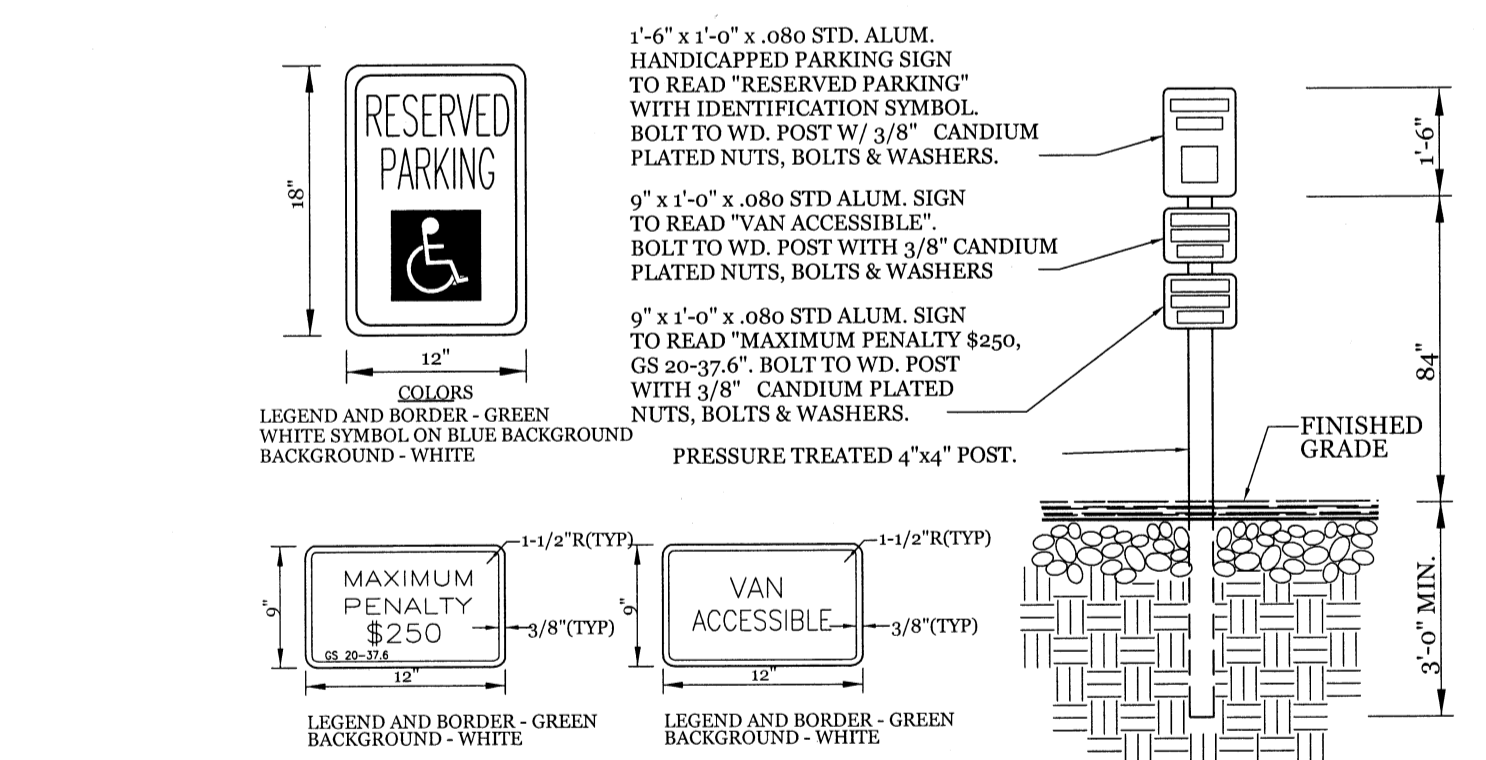
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**SECTION B-B**

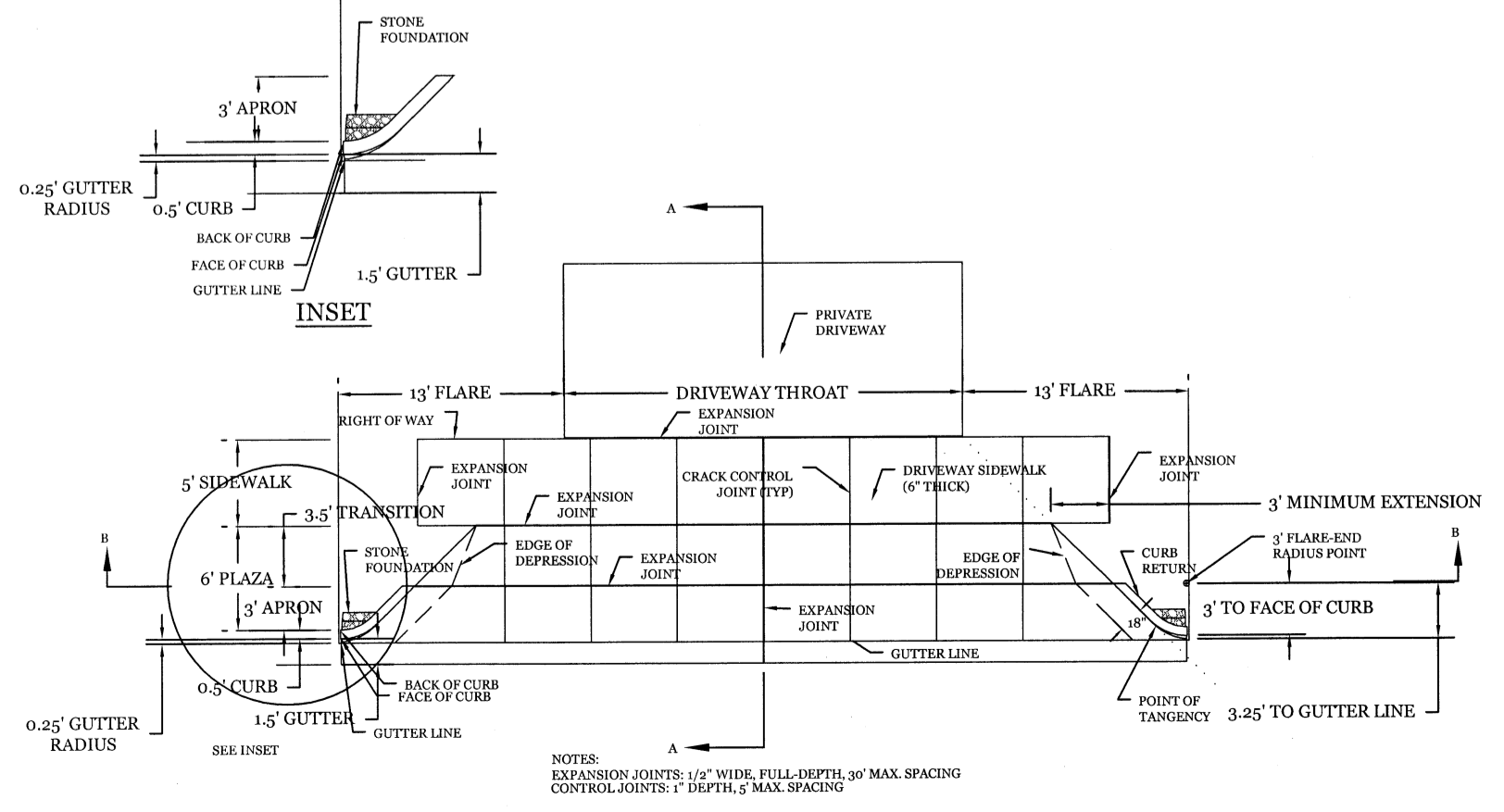


**SECTION A-A**



**TYPICAL HANDICAPPED SIGN DETAIL**

NTS

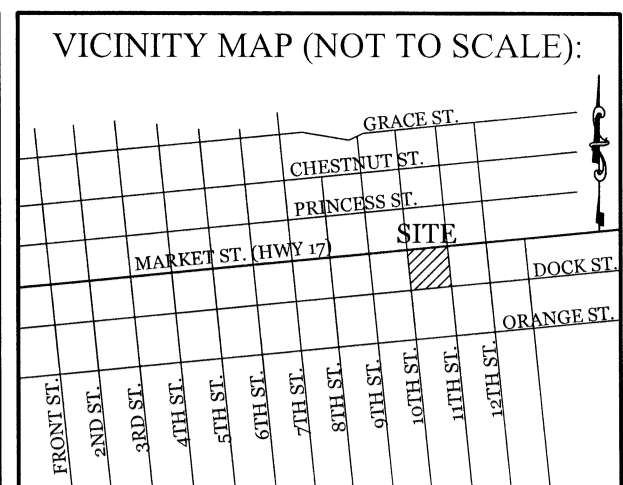


**COMMERCIAL DRIVEWAY**

NTS

**SITE WORK NOTES:**

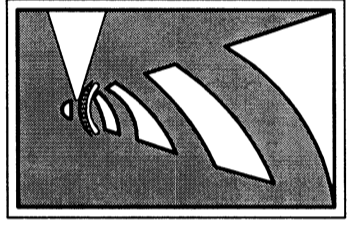
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
14. EXISTING SURVEYING PERFORMED BY MICHAEL UNDERWOOD, PLS
15. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
17. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPWA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
18. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
19. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
20. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
21. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
22. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



**REVISIONS**

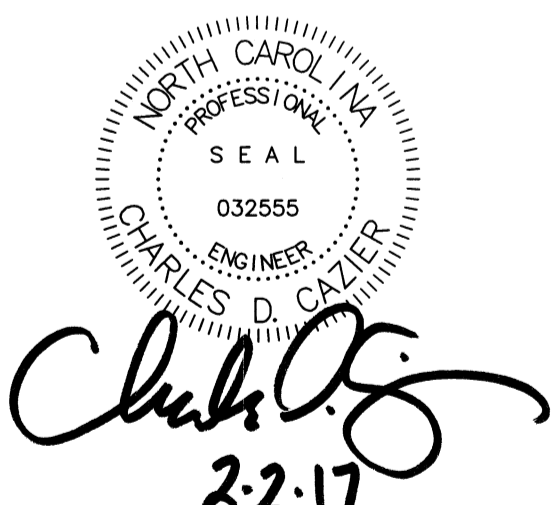
NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
5725 Olander Dr., Unit E-7  
Wilmington, North Carolina 28403  
Phone: (910) 859-8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662



**DETAILS**

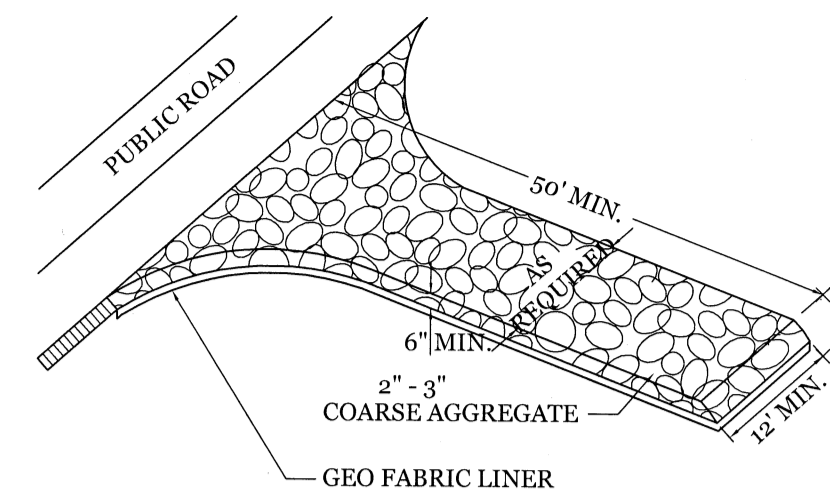
FOR  
**FAMILY FARE**  
MARKET ST.  
WILMINGTON, NC



CLIENT INFORMATION:  
M. M. FOWLER, INC.  
LEE BARNES  
4220 NEAL ROAD  
DURHAM, NC 27705  
919-309-2925 EXT. 215

DRAWN: BFD SHEET SIZE: 24 x 36  
CHECKED: CDC DATE: 2/2/2017  
APPROVED: CDC SCALE: NTS  
PROJECT NUMBER: 2015-049

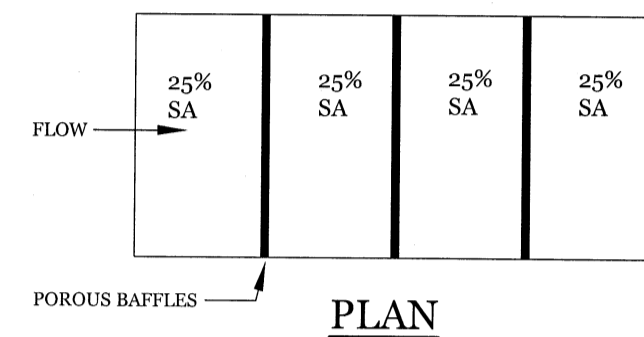
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**C-5** 5 OF 9



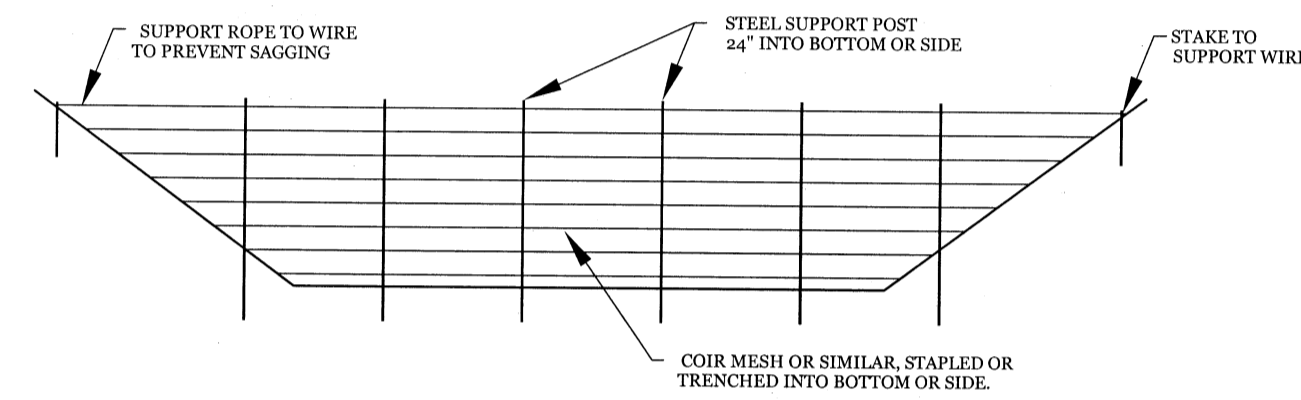
NOTE:  
CONSTRUCTION ENTRANCE TO BE 12' OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

NTS



PLAN

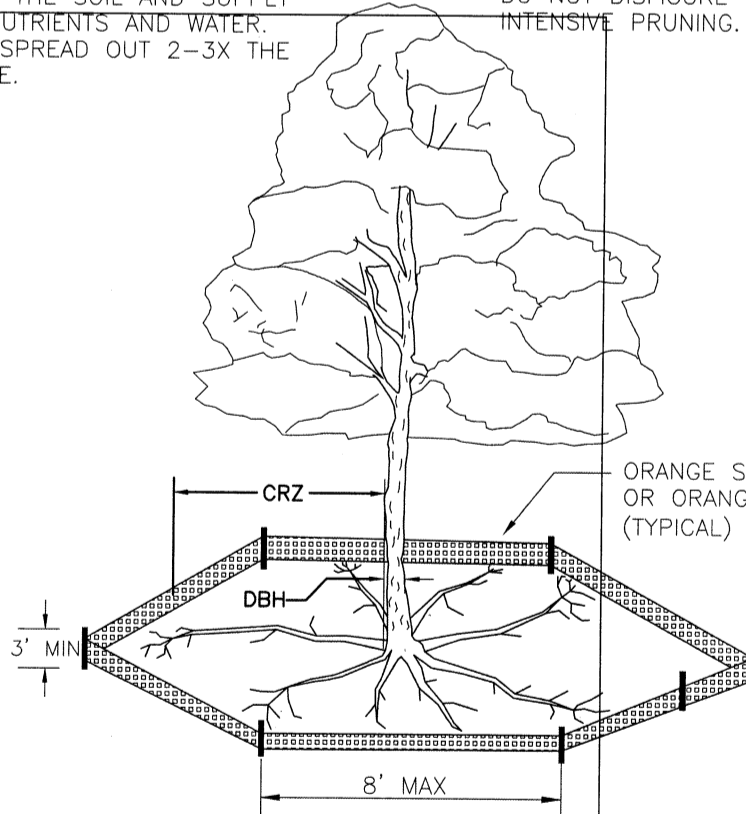


CROSS SECTION

**POROUS BAFFLE DETAIL**

NTS

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



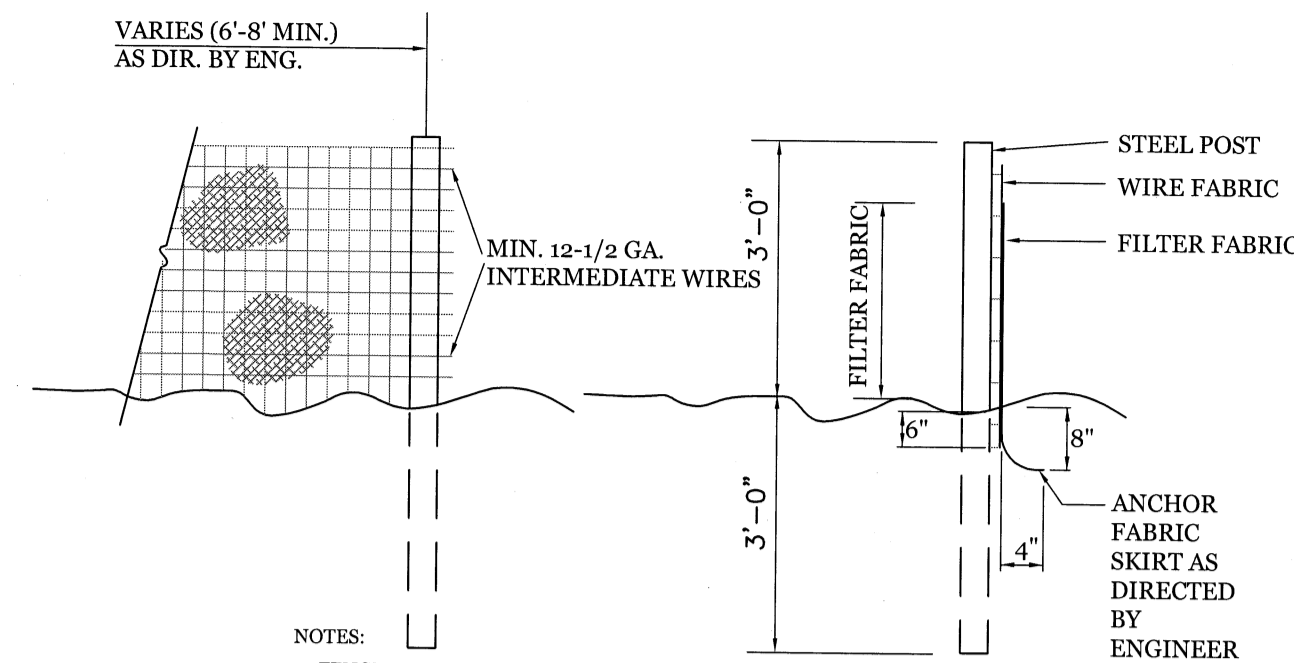
NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

- NOTES:
1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
  2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
  3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
  4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
  5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
  6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL		<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DATE:	JAN, 2015	
DRAWN BY:	JSR	
CHECKED BY:	RDG, P.E.	
SCALE:	NOT TO SCALE	SD 15-09

**TREE PROTECTION DURING CONSTRUCTION**

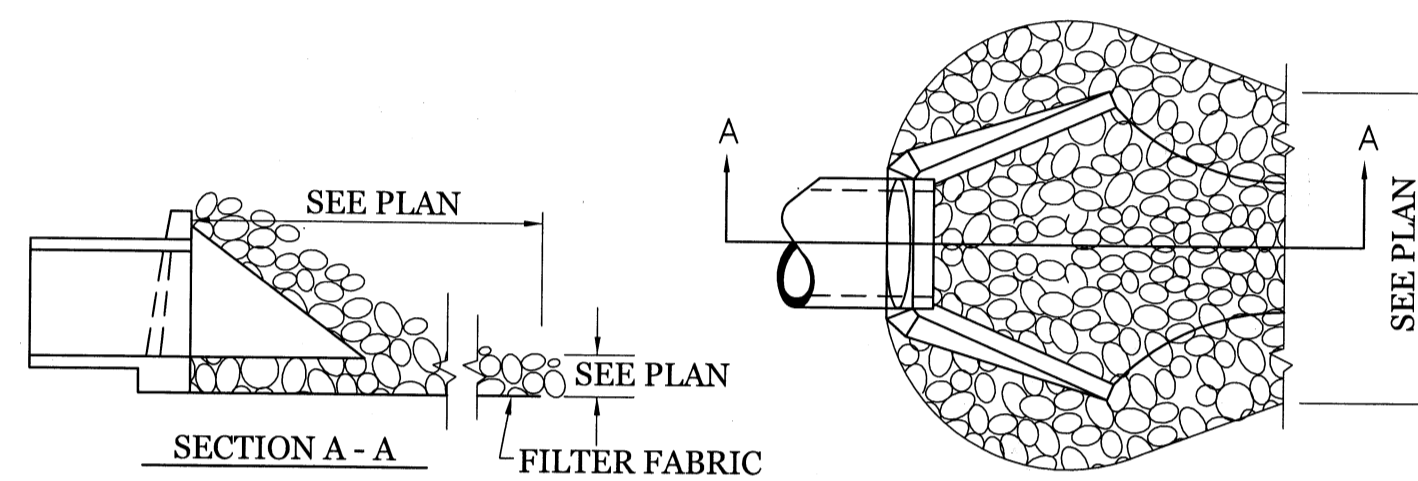
SHEET 1 of 2



- NOTES:
1. FENCE FABRIC SHALL BE A MIN. OF 36" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
  2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
  3. STEEL POST SHALL BE 3'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

**TEMPORARY SILT FENCE**

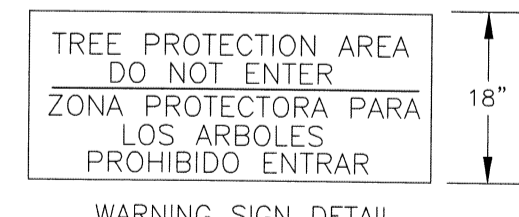
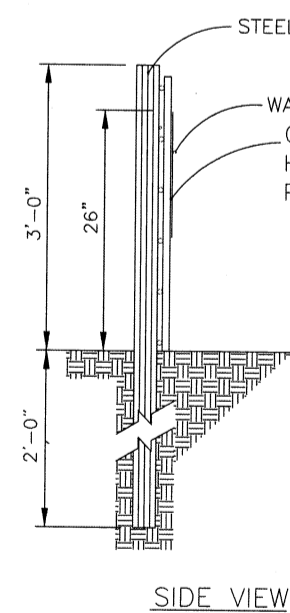
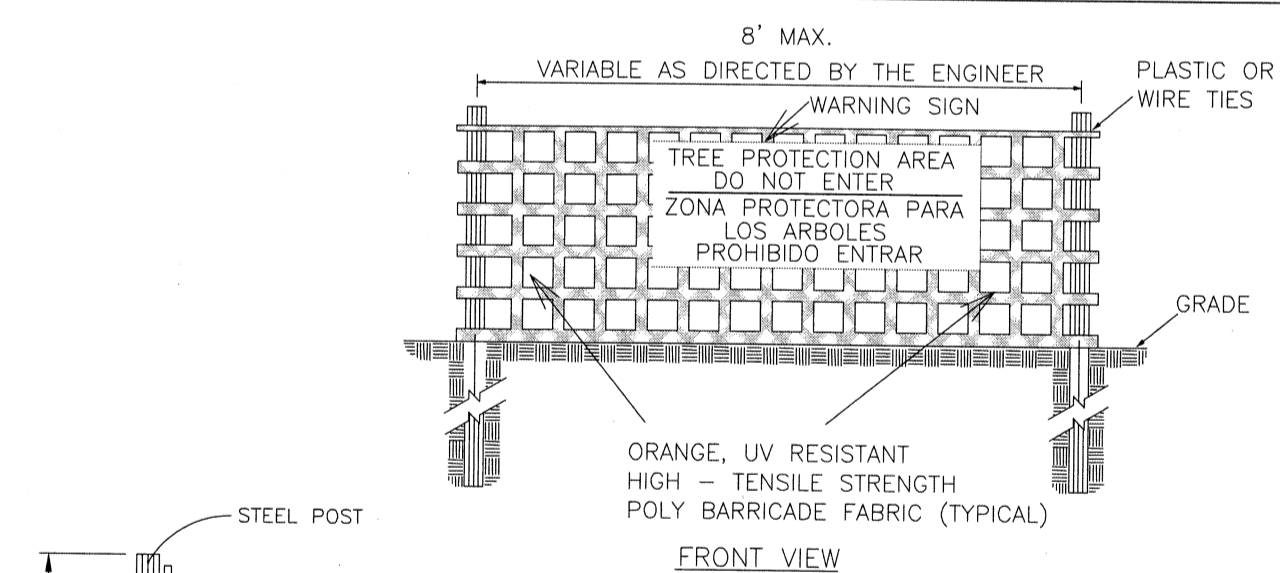
NTS



- NOTES:
1. CLASS "B" RIP RAP TO BE USED FOR ALL ENERGY DISSIPATOR AREAS.

**ENERGY DISSIPATOR**

NTS



- NOTES:
1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
  2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
  3. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
  4. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
  5. TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
  6. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

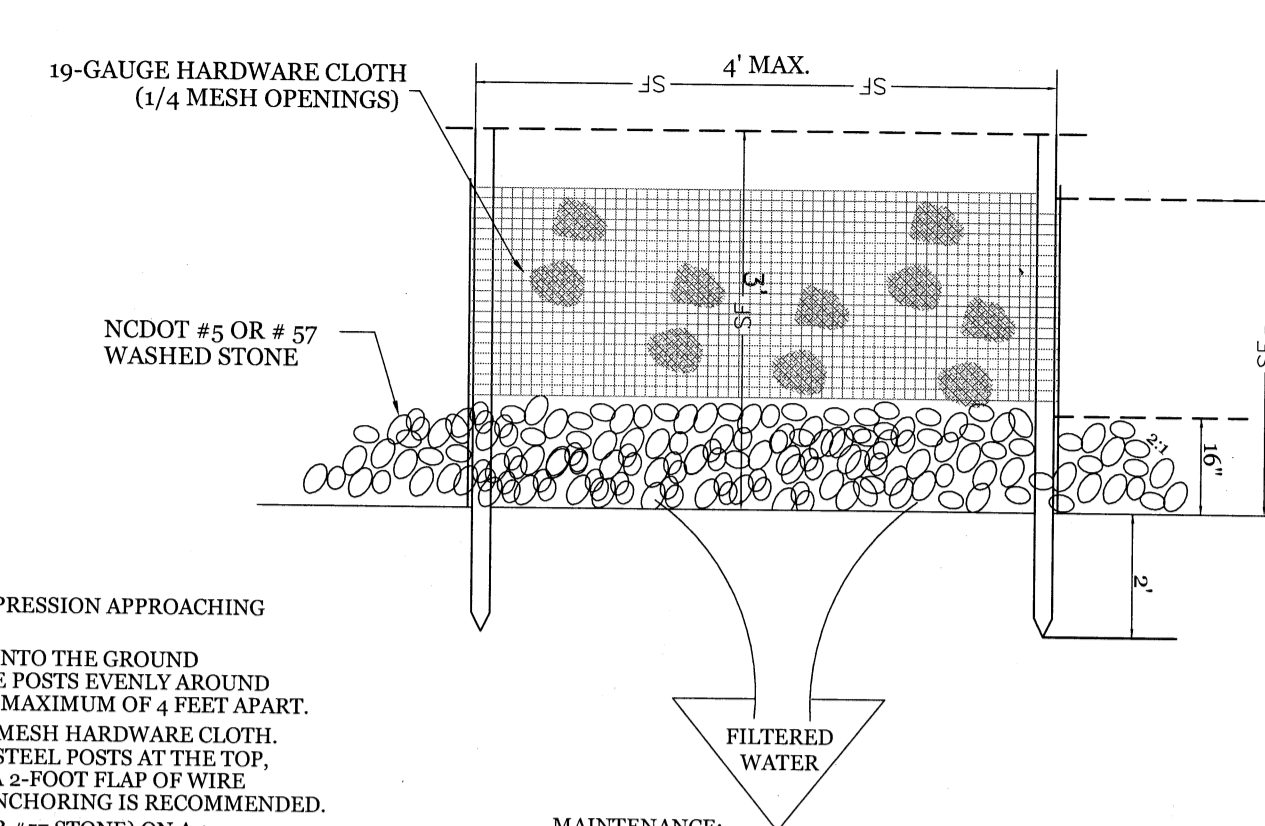
STANDARD DETAIL		<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DATE:	JAN, 2015	
DRAWN BY:	JSR	
CHECKED BY:	RDG, P.E.	
SCALE:	NOT TO SCALE	SD 15-09

**TREE PROTECTION DURING CONSTRUCTION**

SHEET 2 of 2

**CONSTRUCTION SPECIFICATIONS:**

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

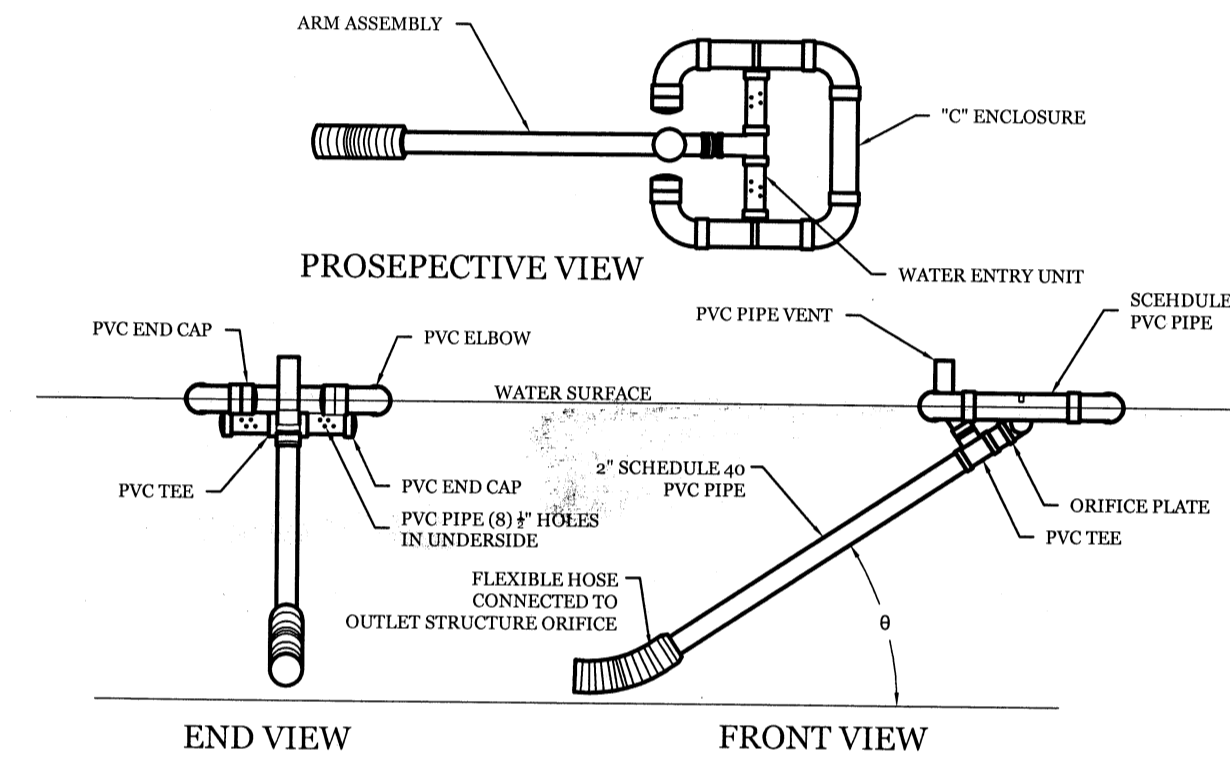


FILTERED WATER

**MAINTENANCE:**  
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**

NTS



GENERAL NOTE:

1. SKIMMER TO BE USED IN WET PONDS AND REMOVED AFTER SITE IS PERMANENTLY STABLE.

**MAINTENANCE:**

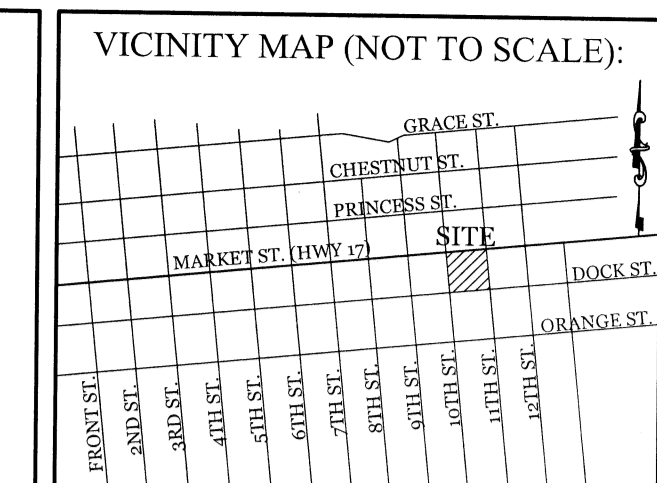
1. MAKE SURE THE SKIMMER IS FREE FLOATING AND NOT BEING HELD DOWN BY VEGETATION.
2. IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.
3. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.
4. FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

**FAIRCLOTH SKIMMER DETAIL**

NTS

STORMWATER MANAGEMENT PLAN  
**APPROVED**  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan		
Name	Date	
Planning		
Public Utilities		
Traffic		
Fire		



REVISIONS	

**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: (910) 859-8983  
Email: [charlie@intracoastalengineering.com](mailto:charlie@intracoastalengineering.com)  
License Number P-0662

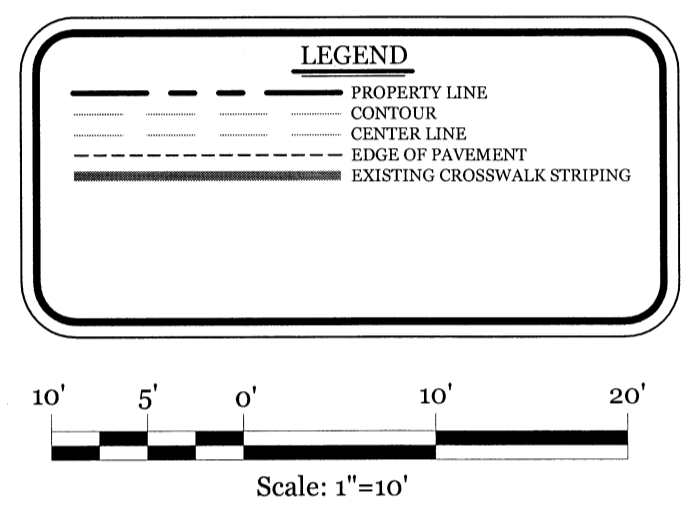
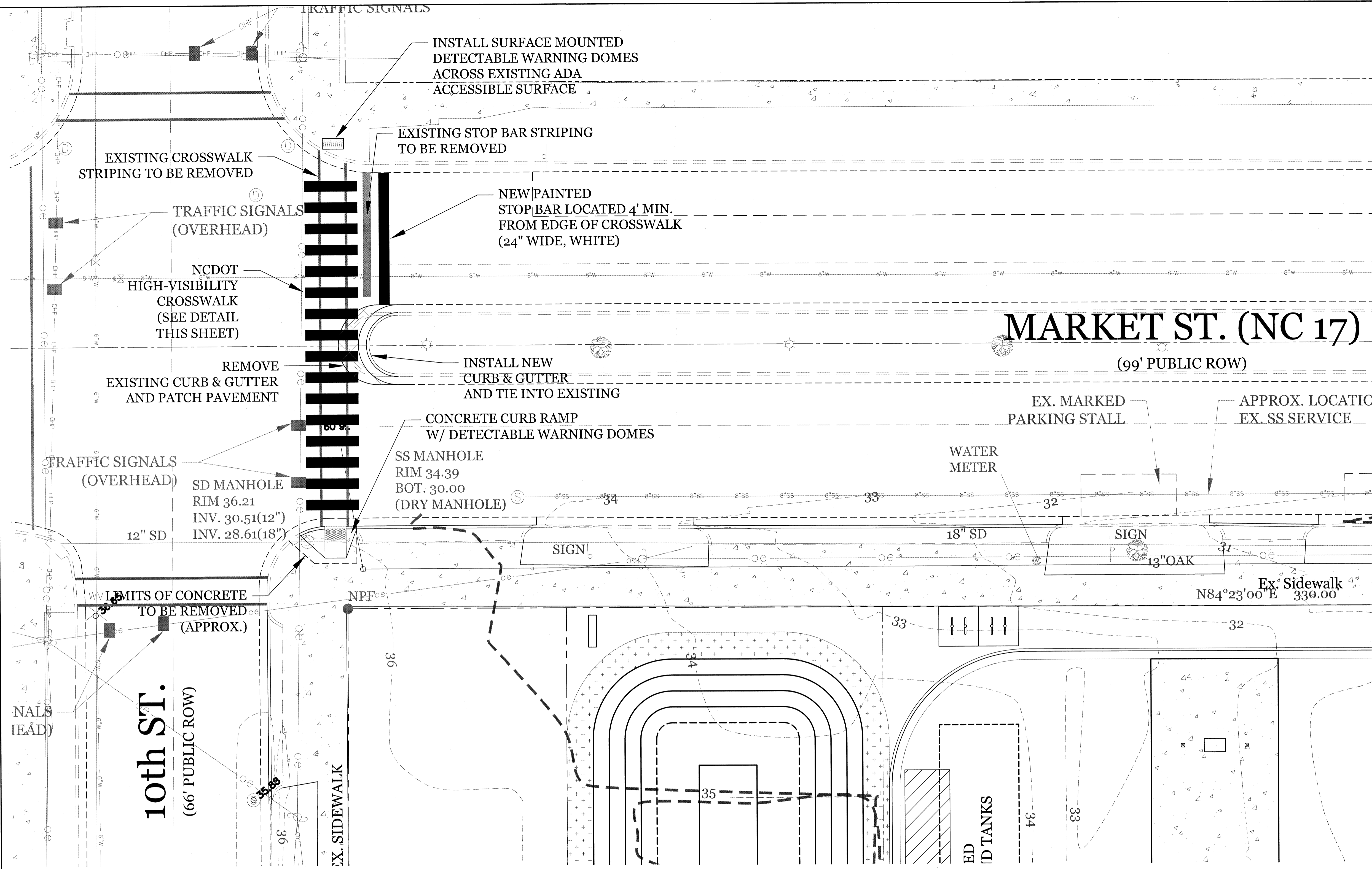
DETAILS  
FOR  
**FAMILY FARE**  
MARKET ST.  
WILMINGTON, NC

Charles D. Cazier  
2-2-17

CLIENT INFORMATION:  
**M. M. FOWLER, INC.**  
LEE BARNES  
4220 NEAL ROAD  
DURHAM, NC 27705  
919-309-2925 EXT. 215

DRAWN:	BFD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/2/2017
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2015-049		

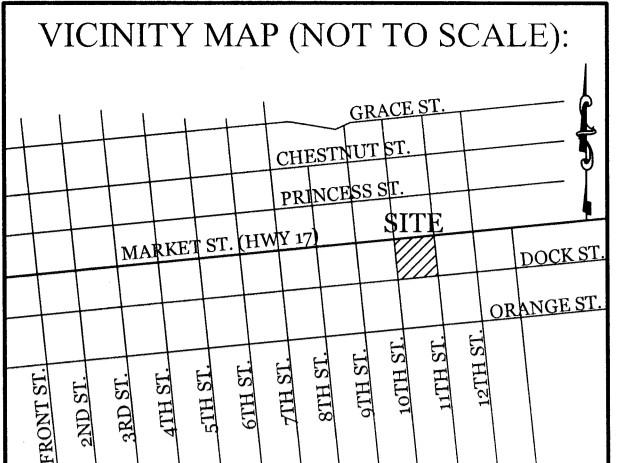
DRAWING NUMBER:  
**C-6**  
6 OF 9



STORMWATER MANAGEMENT PLAN  
APPROVED  
CITY OF WILMINGTON  
ENGINEERING DEPARTMENT  
DATE \_\_\_\_\_ PERMIT # \_\_\_\_\_  
SIGNED \_\_\_\_\_

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Public Utilities \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

NOTE: SEE TRAFFIC & PEDESTRIAN SIGNAL IMPROVEMENT PLANS BY DAVENPORT ENGINEERING.



REVISIONS


**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: (910) 859-8983  
Email: Charlie@intracoastalengineering.com  
License Number P-0662

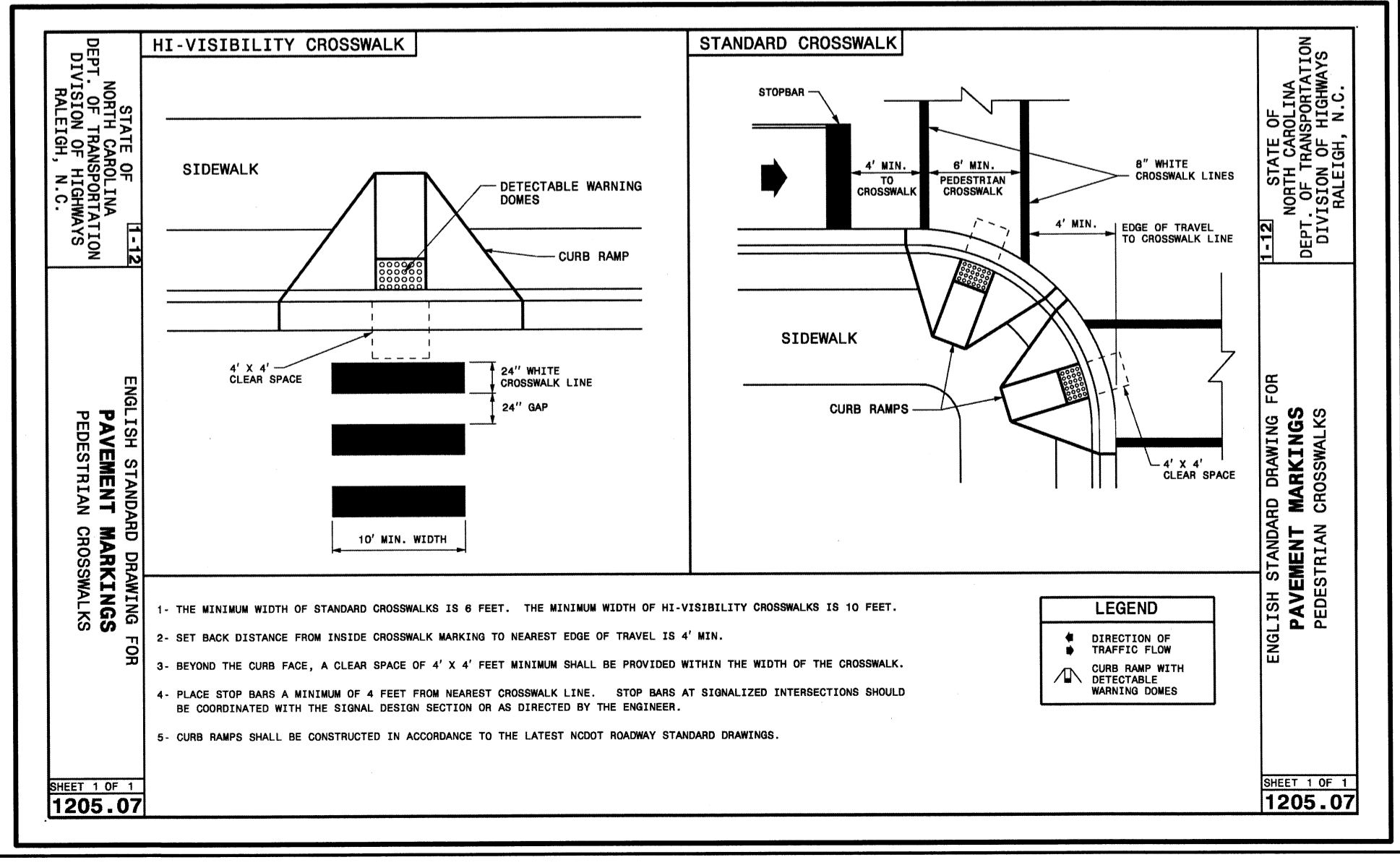
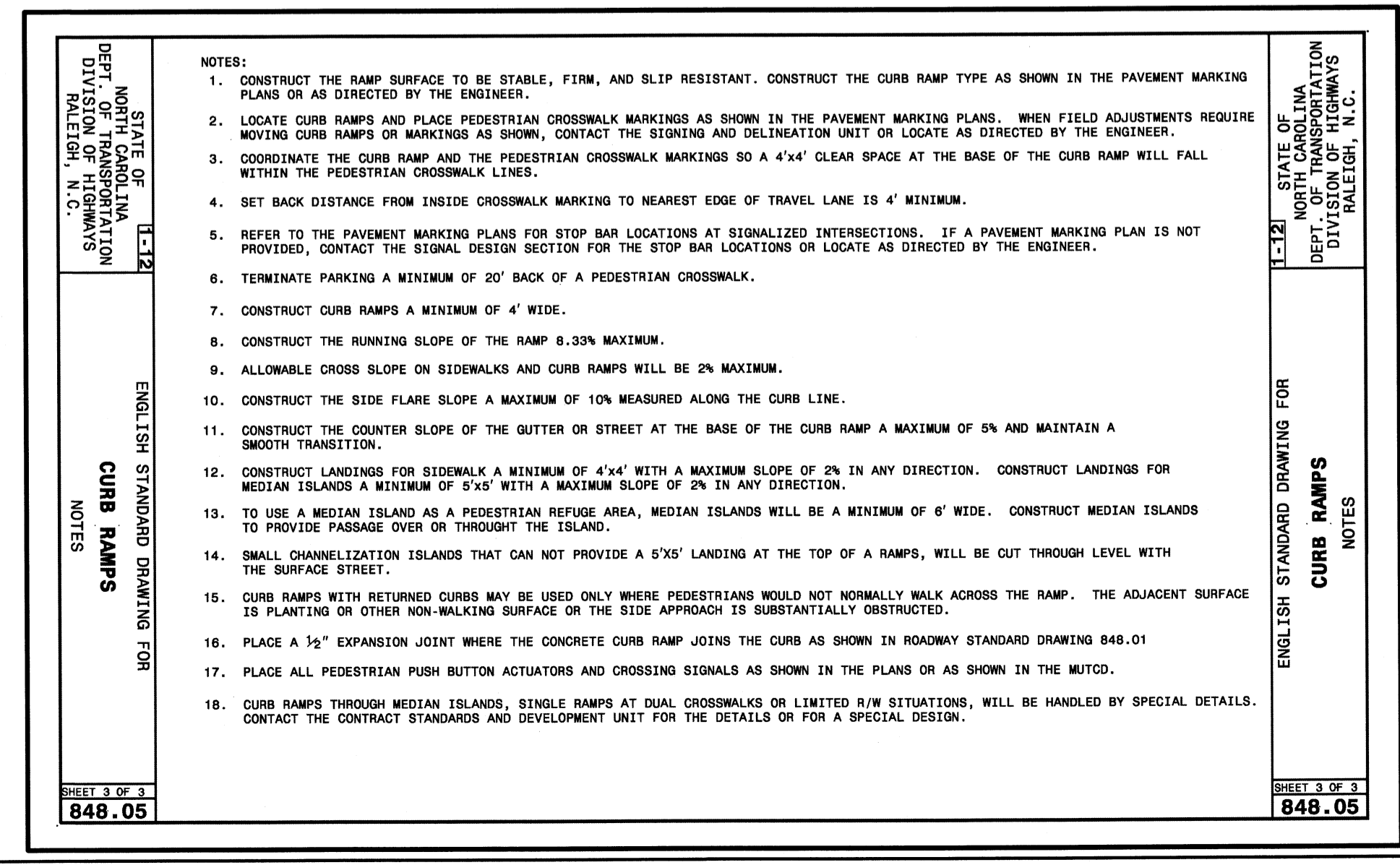
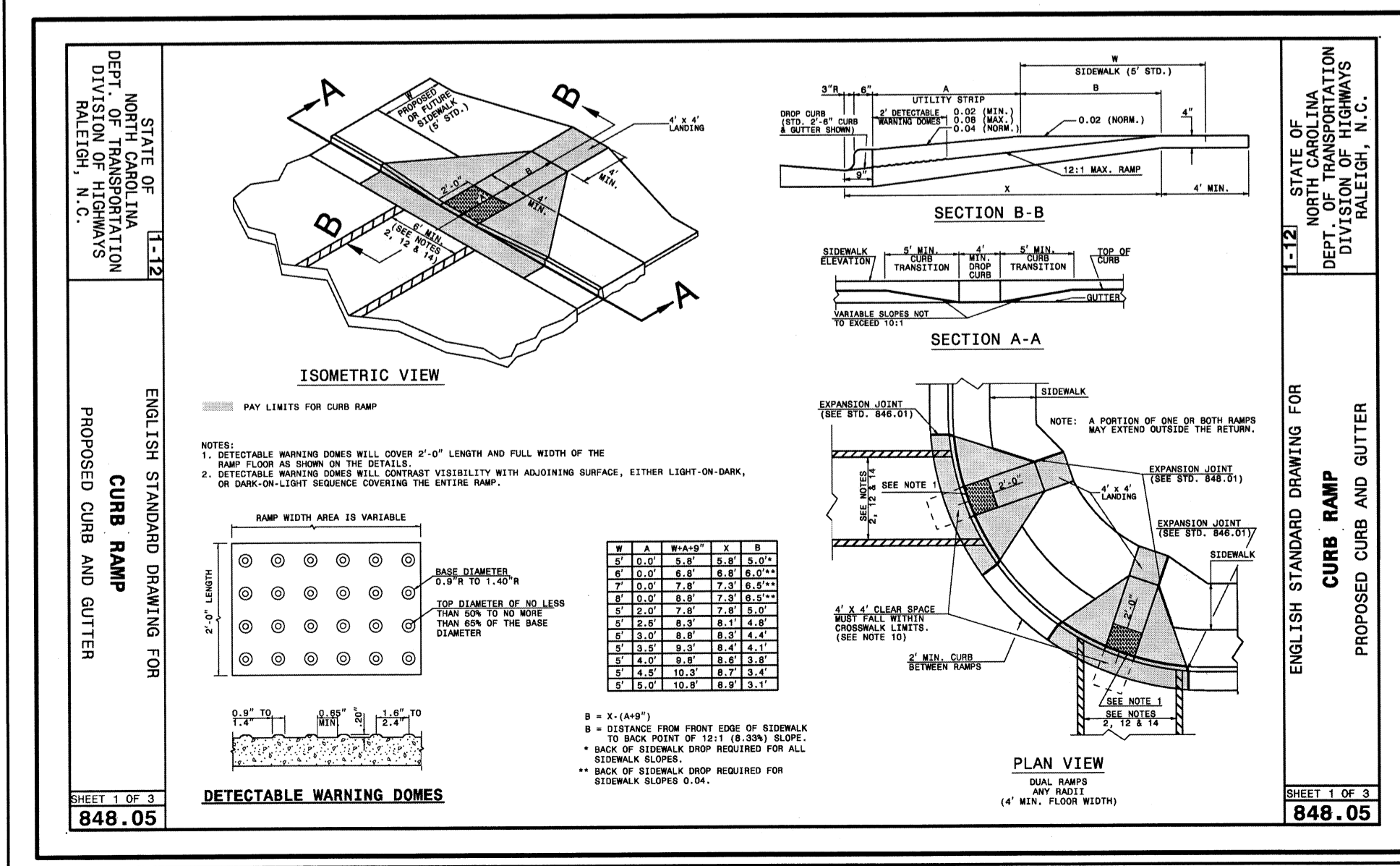
PEDESTRIAN IMPROVEMENT PLAN  
FOR  
FAMILY FARE  
MARKET ST.  
WILMINGTON, NC

Charles D. Caier  
2.2.17

CLIENT INFORMATION:  
M. M. FOWLER, INC.  
LEE BARNES  
4220 NEAL ROAD  
DURHAM, NC 27705  
919-309-2925 EXT. 215

DRAWN:	BPD	SHEET SIZE:	24 x 36
CHECKED:	CDC	DATE:	2/2/017
APPROVED:	CDC	SCALE:	1" = 10'
PROJECT NUMBER:	2015-049		

DRAWING NUMBER:  
C-9



**SITE DATA:**  
 PROPERTY CURRENTLY OWNED BY:  
 R & R COMPANY WILMINGTON LLC  
 4951 NEW CENTRE DR  
 WILMINGTON, NC 28403  
 &  
 RIPPY CADILLAC OLDS INC  
 4951 NEW CENTRE DR  
 WILMINGTON, NC 28401

**PROPERTY ADDRESS:**  
 6 S 11th ST  
 WILMINGTON, NC

**NEW HANOVER COUNTY PINS:**  
 R04818-030-004-000,  
 R04818-030-003-000,  
 R04818-030-001-000

**TOTAL TRACT AREA:** ±1.25 AC. (54,450 SF)  
**DISTURBED AREA:** ±1.29 AC. (56,342 SF) x 15 = 20 Trees 2.5" Cal. Req'd & Prov'd

**CURRENT ZONING:** CITY OF WILMINGTON  
 UMX (URBAN MIXED USE)

**CAMA CLASSIFICATION:**  
 URBAN

**SETBACKS:**  
 FRONT REQ'D= 0' PROP= 4'  
 REAR REQ'D= 0' PROP= 111'  
 SIDE REQ'D= 0' PROP= 4'L/195'R

**PROPOSED LAND USE:**  
 CONVENIENT STORE

**GROSS FLOOR AREA:**  
 4,500 SF (8.3% LOT COVERAGE)

**BUILDING HEIGHT:** ±20'

**BUILDING CONSTRUCTION:** TYPE V-B, UNSPRINKLED

**EXISTING IMPERVIOUS SURFACES:**  
 PAVEMENT/BLDG PADS = 34,330 SF (63%)  
 TO REMAIN= 0 SF

**PROPOSED ONSITE IMPERVIOUS SURFACES:**  
 BUILDINGS= 4,500 SF  
 PAVEMENT= 25,814 SF  
 (ASPHALT/CONCRETE)  
 SIDEWALKS= 947 SF  
 FUTURE (OUTPARCEL)= 4,504 SF  
 TOTAL IMPERVIOUS= 35,765 SF (65.7%)

**PROPOSED OFFSITE IMPERVIOUS SURFACES:**  
 DRIVEWAY APRONS/SIDEWALK= 1,500 SF

**TOTAL PARKING PROVIDED:** 14 SPACES (1 HC)

**BICYCLE PARKING REQUIRED:**  
 (5 spaces or 1 per 1,000 sf GFA)  
 REQUIRED: 5 SPACES  
 PROVIDED: 8 SPACES

**STREET YARD:**  
 REQUIRED: 0 SF  
 PROVIDED: 0 SF

**FOUNDATION PLANTINGS:**  
 REQUIRED: 336 SF (2,800 SF X 12%)  
 PROVIDED: 450 SF

**WATER AND SEWER DEMAND:**  
 (250 GPD PER PLUMBING FIXTURE)  
 SEWER: @ 250 GPD X 4 = 1,000 GPD  
 WATER: @ 250 GPD X 4 = 1,000 GPD

**PROPOSED IMPERVIOUS AREA (Parking/Driveways)** 25,814 x 20% = 5,163 req'd shading  
 707 SF SHADING x 2 = 1,414 SF SHADING PROVIDED  
 353 SF SHADING x 12 = 4,236 SF SHADING PROVIDED  
 TOTAL SHADING PROVIDED = 5,650 SF

PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

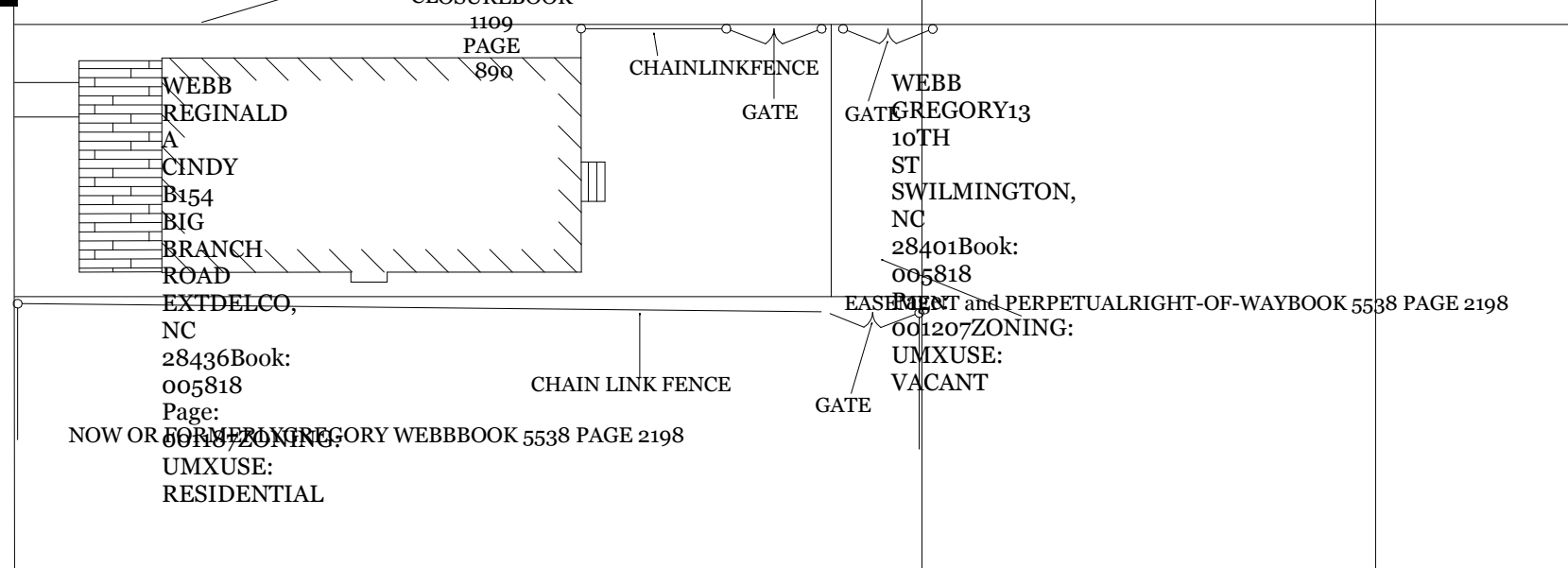
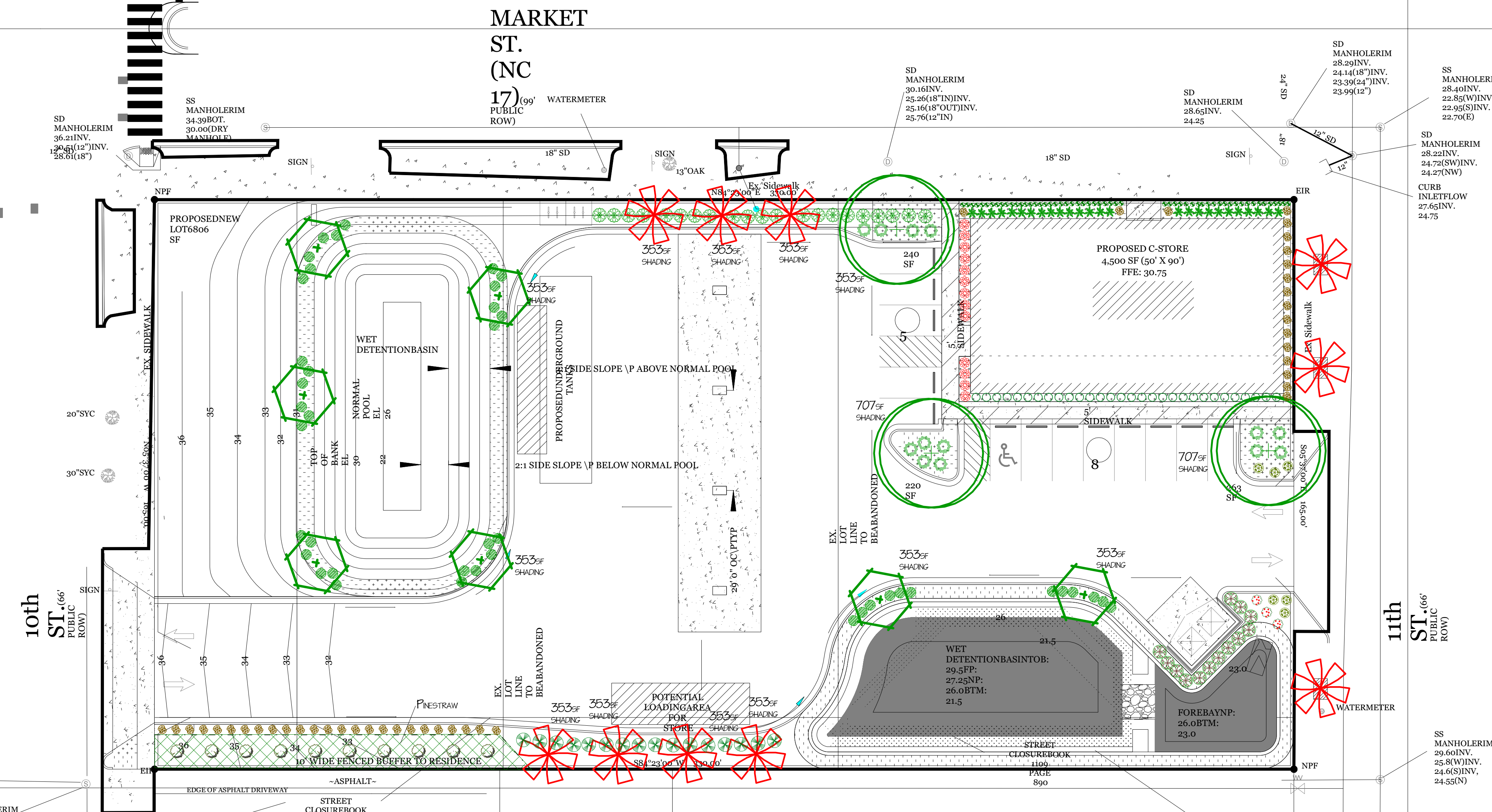
LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A C.O.  
 ALL LANDSCAPE BEDS ARE TO BE MULCHED WITH 3" OF BROWN MULCH UNLESS SPECIFIED OTHERWISE

The areas within the triangular sight distance shall be maintained free of all obstructions between 30" and 10'.

A rain/freeze sensor shall be used if there is an irrigation system.

[jim@freemanlandscape.com](mailto:jim@freemanlandscape.com)  
 (910)796-1166

W  
 HOBBS  
 INVESTMENTS  
 LLC 03/27  
 MARYWOOD  
 NC WILMINGTON,  
 NC 28409 Book:  
 005495  
 Page:  
 000000 ZONING:  
 UMX USE:  
 COMMERCIAL



LEGEND		
COMMON NAME	SIZE	QTY
FLOWER, FERN		
* FERN, HOLLY	1 GAL.	26
FLOWER, GRASS		
* MISCANTHUS SINENSIS	1 GAL.	42
FLOWER, PERENNIAL		
* LIRIOPE, EMERALD GODDESS	1 GAL.	56
SHRUB, DECIDUOUS		
* ROSE, KNOCKOUT	3 GAL.	3
SHRUB, EVERGREEN BROADLEAF		
* BOXWOOD WINTERGREEN	3 GAL.	13
* EASTERN RED CEDAR	15 GAL.	10
* HOLLY, NEEDLEPOINT	7 GAL.	21
* HOLLY, NEEDLEPOINT	3 GAL.	16
* HOLLY, YAUPON, DWARF	3 GAL.	30
* LANTANA, ORANGE	1 GAL.	6
* LIGUSTRUM 'RECURVIFOLIUM'	7 GAL.	13
* YEW, JAPANESE UPRIGHT	3 GAL.	43
SHRUB, EVERGREEN CONIFER		
* JUNIPER, PARSON	3 GAL.	13
TREE, DECIDUOUS		
* RIVER BIRCH, MULTI-STEM	25" CAL.	7
* TRIDENT MAPLE	25" CAL.	3
* CRAPE MYRTLE 'NATCHEZ'	25" CAL.	10

Low Buffer 3'Ht.

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

**CITY OF WILMINGTON**  
 NORTH CAROLINA

Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

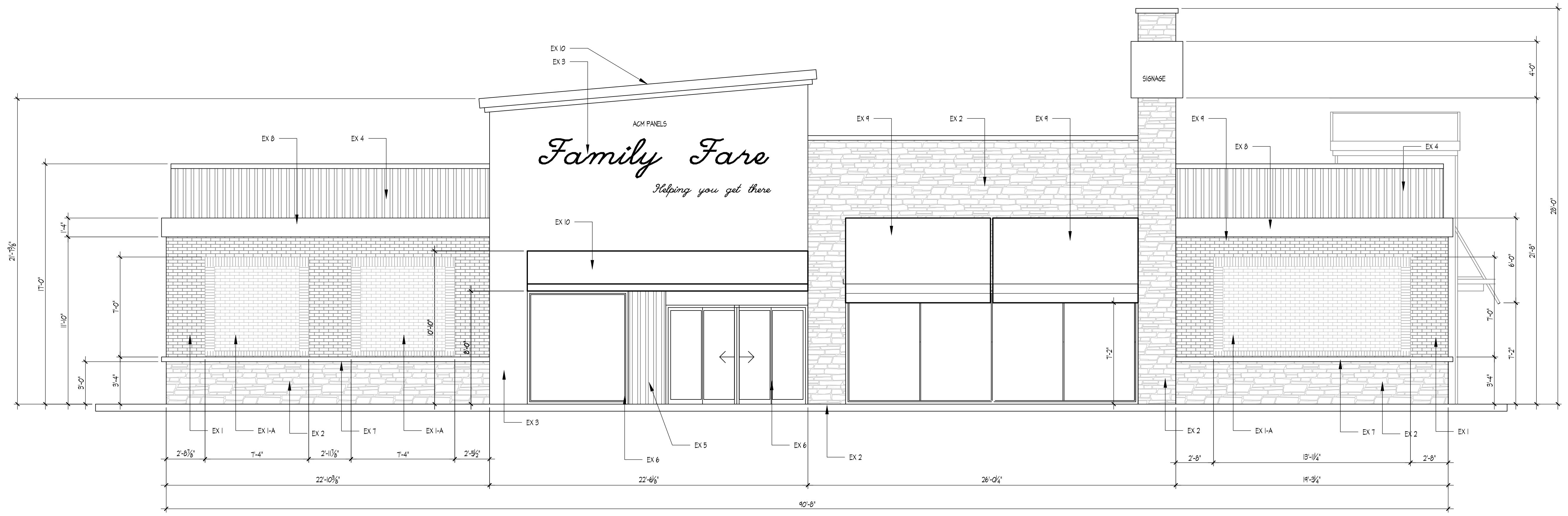
Revision #:  
 Date: 2/2/2017

Scale:  
 1" = 20'

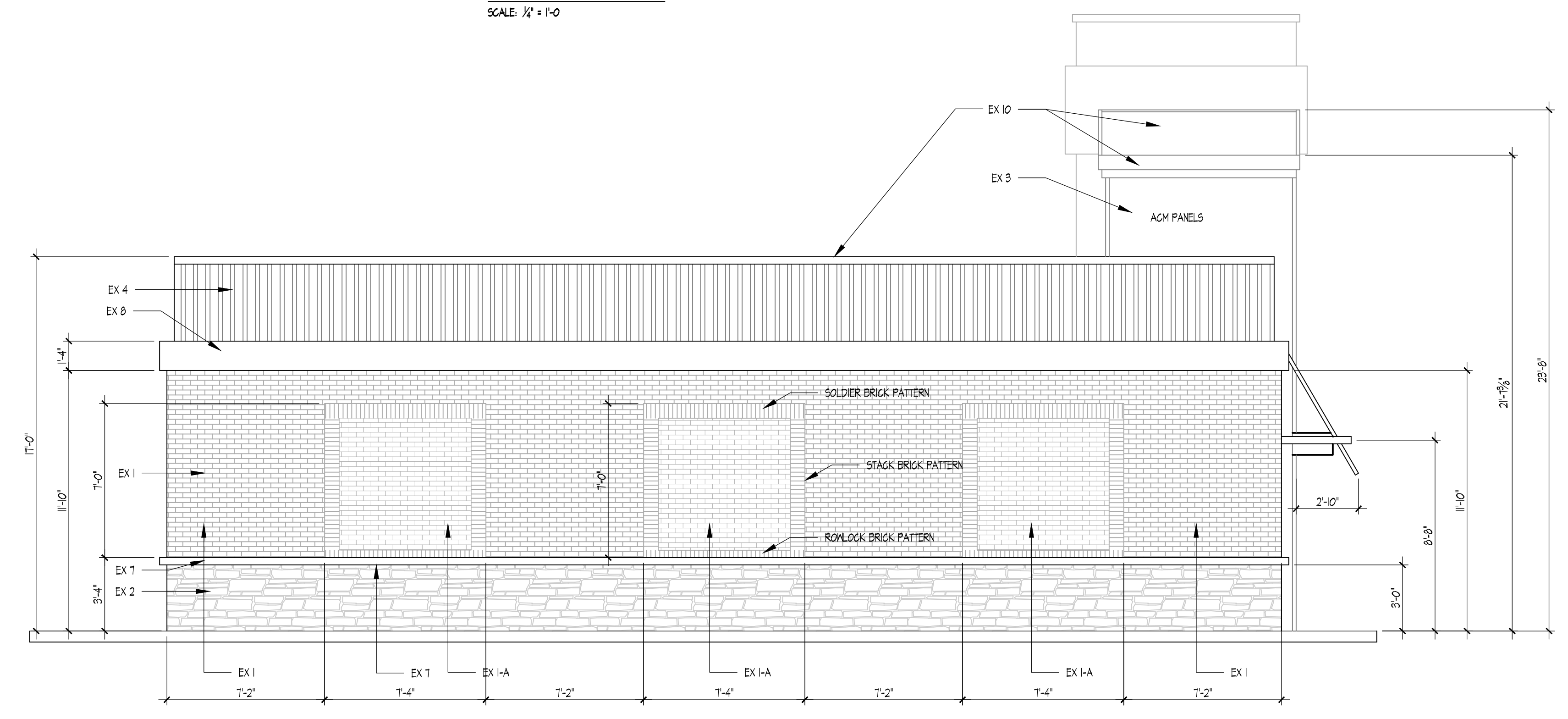
Landscape Plan:  
 Family Fare, Market St.

Landscape Design by: James Freeman - NCLC #71  
 Freeman Landscape, Inc.



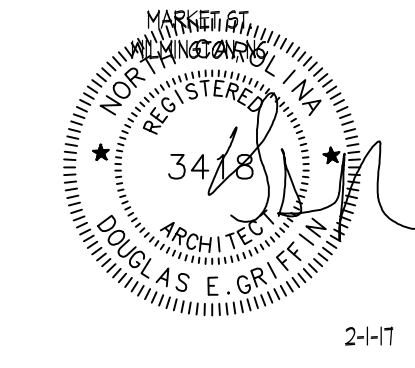


201.1  
 EXTERIOR ELEVATION  
 SCALE: 1/2" = 1'-0"



201.2  
 EXTERIOR ELEVATION  
 SCALE: 1/2" = 1'-0"

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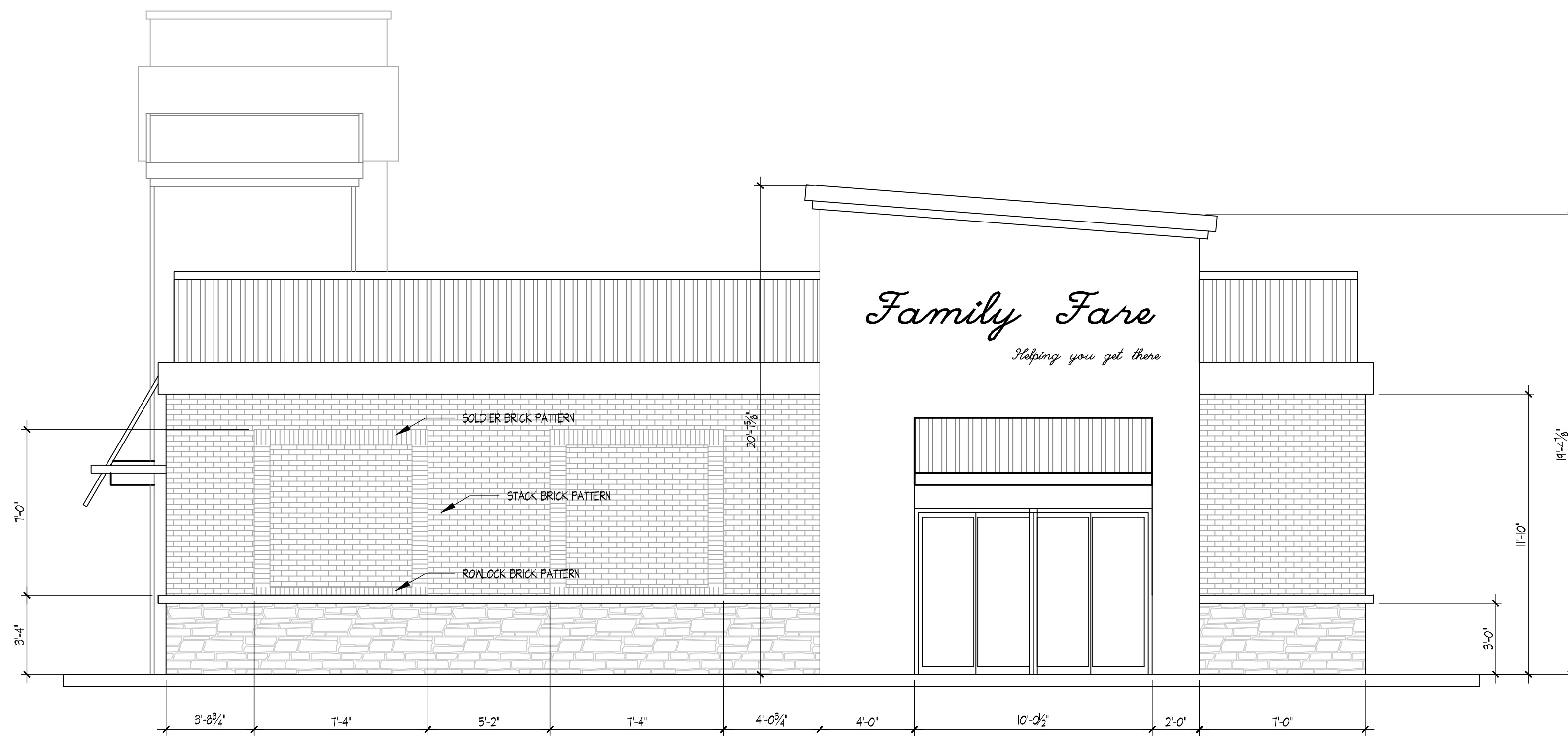


NEW  
 FACILITY  
 FOR:  
**FAMILY FARE**  
 MARKET ST  
 WILMINGTON, NC

DATE	24-11
SCALE	1/2" = 1'-0"
DRAWN	DGRFFIN
JOB	BARST
REVISIONS	

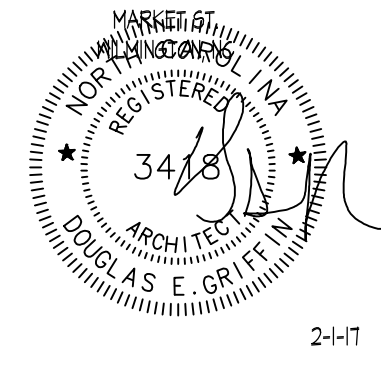
SHEET

A-201



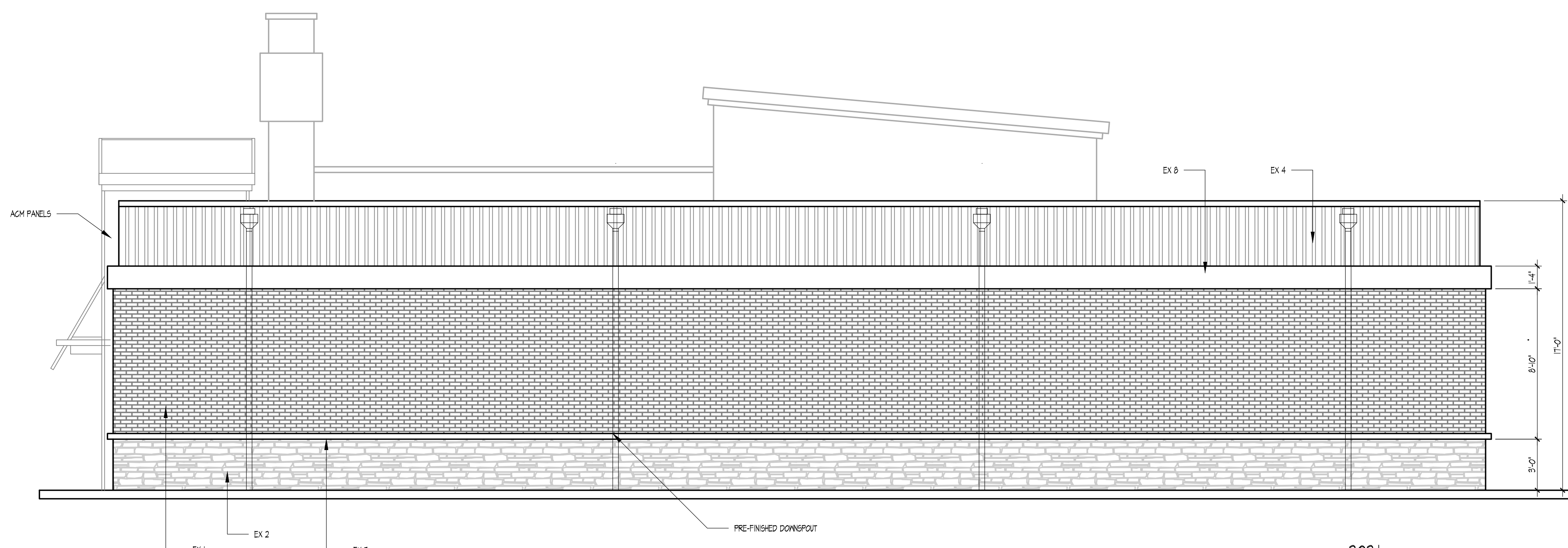
**202.2**  
**LEFT SIDE EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

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 WITH THE REQUIREMENTS OF THE ANY AND ALL  
 APPLICABLE BUILDING CODES. IF THE  
 DESCRIBED BY THE ARCHITECT HAS CHANGES  
 SIGNIFICANT ENOUGH TO BE OBTAINED, HAVE  
 OR ARE OCCURRING IN THE CONSTRUCTION OF  
 THE FACILITY THAT EXCEEDS THE  
 CONTROLLED CONSTRUCTION OF THE WORK WITH  
 THE BUILDING CODES OR ANY OTHER LIFE  
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24-HT

NEW  
 FACILITY  
 FOR:  
**FAMILY FARE**  
 MARKET ST  
 WILMINGTON, NC



**202.1**  
**REAR EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

DATE	24-HT
SCALE	1/4" = 1'-0"
DRAWN	DGRFFIN
JOB	BARST
REVISIONS	

**SHEET**

A-202